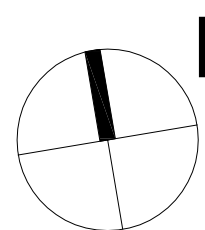


REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

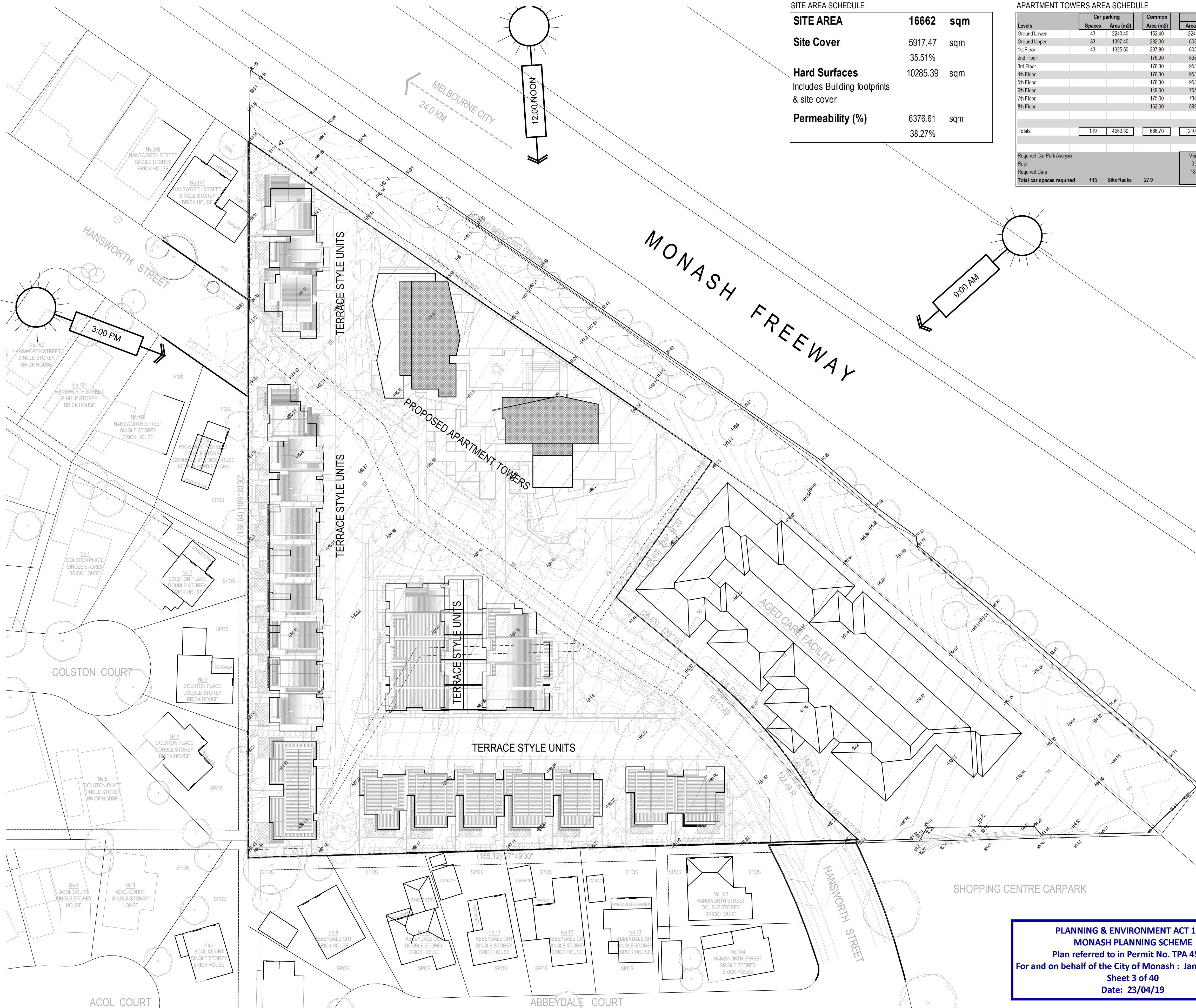
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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
SITE CONTEXT

- INFORMATION -			
DATE:	MAR-18-19	SCALE:	1:500 @ A1
DWG No:	TA02	REV:	1:1000 @ A3
	P5		MAR 18 2019





SITE AREA SCHEDULE			
<b>SITE AREA</b>	<b>16662</b>	<b>sqm</b>	
<b>Site Cover</b>	<b>5917.47</b>	<b>sqm</b>	
	<b>35.51%</b>		
<b>Hard Surfaces</b>	<b>10285.39</b>	<b>sqm</b>	
Includes Building footprints & site cover			
<b>Permeability (%)</b>	<b>6376.61</b>	<b>sqm</b>	
	<b>38.27%</b>		

APARTMENT TOWERS AREA SCHEDULE											
Levels	Car parking		Common Area (m2)	Residential Apartment Towers							Terraces Area (m2)
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total	
Ground Lower	43	2240.40	152.40	2240.40							
Ground Upper	33	1397.40	282.00	603.69	3		6		0	9	174.60
1st Floor	43	1325.50	207.80	605.74	3		3		0	6	97.43
2nd Floor			176.90	898.38	4		8		0	12	379.79
3rd Floor			176.30	953.56	5		8		0	13	167.28
4th Floor			176.30	953.56	5		8		0	13	167.28
5th Floor			176.30	953.56	5		8		0	13	167.28
6th Floor			149.00	755.56	2		6		1	9	223.90
7th Floor			175.00	734.56	5		5		0	10	136.00
8th Floor			162.00	599.76	3		5		0	8	175.90
Totals	119	4963.30	666.70	2107.81	35		57		1	93	
Required Car Park Analysis Rate					0.20	1.00	1.00	1.00	2.00		Store 6m3 101
Required Cars					18.60	35.00	57.00	1.00	2.00		3m3 101
Total car spaces required	113										Total 101

APARTMENT TOWERS AREA SCHEDULE	
<b>Number of Apt's</b>	<b>93</b>
1 beds	35
2 Beds	57
3 Beds	1
<b>Car parking spaces</b>	<b>119</b>
<b>Bicycles</b>	<b>96</b>
<b>Floor areas</b>	<b>16776.19 sqm</b>
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2296.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

TERRACE UNITS AREA SCHEDULE	
<b>Number of Units</b>	<b>30</b>
<b>Car Parking - Visitors</b>	<b>7 spaces</b>
<b>Bicycles</b>	<b>-</b>
<b>Types</b>	<b>Total Number 6844.14 sqm</b>
Type A1	1 215.20 sqm
Type A2	5 1152.50 sqm
Type A3	2 425.00 sqm
Type A4	1 227.22 sqm
Type B1	4 931.44 sqm
Type B2	5 971.50 sqm
Type B3	1 227.32 sqm
Type B4	1 208.17 sqm
Type B5	1 249.55 sqm
Type C1	1 256.20 sqm
Type C2	3 807.90 sqm
Type C3	1 244.00 sqm
Type C4	2 493.92 sqm

TERRACE UNITS TYPE A AREA SCHEDULE			
<b>Unit Type</b>	<b>Area</b>	<b>Total</b>	<b>215 sqm</b>
Type A1	Ground Flr	98.90	175.80 Floor area
	First Flr	76.90	
	Garage	39.40	
	Rear Courtyard	105.00	121.00 Open spaces
	Open Space	16.60	
Type A2	Ground Flr	107.50	194.50 Floor area
	First Flr	87.00	
	Garage	36.00	
	Rear Courtyard	87.00	103.20 Open spaces
	Open Space	16.20	
Type A3	Ground Flr	97.80	175.30 Floor area
	First Flr	77.50	
	Garage	37.20	
	Rear Courtyard	140.00	151.00 Open spaces
	Open Space	11.00	
Type A4	Ground Flr	99.00	191.22 Floor area
	First Flr	92.22	
	Garage	36.00	
	Rear Courtyard	99.00	133.00 Open spaces
	Open Space	34.00	

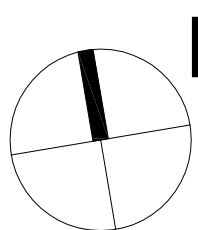
TERRACE UNITS TYPE B AREA SCHEDULE			
<b>Unit Type</b>	<b>Area</b>	<b>Total</b>	<b>233 sqm</b>
Type B1	Ground Flr	98.56	156.36 Floor area
	First Flr	62.00	
	Second Flr	55.80	
	Garage	36.50	
	Terrace	14.00	
Type B2	Ground Flr	79.70	152.30 Floor area
	First Flr	75.60	
	Garage	42.00	
	Rear Courtyard	62.00	71.00 Open spaces
	Open Space	9.00	
Type B3	Ground Flr	114.50	183.02 Floor area
	First Flr	68.52	
	Garage	44.30	
	Rear Courtyard	138.00	180.00 Open spaces
	Open Space	42.00	
Type B4	Ground Flr	98.57	168.17 Floor area
	First Flr	65.60	
	Garage	40.00	
	Rear Courtyard	89.75	114.75 Open spaces
	Open Space	25.00	
Type B5	Ground Flr	113.55	205.95 Floor area
	First Flr	92.00	
	Garage	43.60	
	Rear Courtyard	60.00	120.00 Open spaces
	Open Space	60.00	

TERRACE UNITS TYPE C AREA SCHEDULE			
<b>Unit Type</b>	<b>Area</b>	<b>Total</b>	<b>256 sqm</b>
Type C1	Ground Flr	45.60	206.50 Floor area
	First Flr	81.70	
	Second Flr	79.20	
	Garage	49.70	
	Terrace	35.00	
Type C2	Ground Flr	52.70	219.70 Floor area
	First Flr	87.50	
	Second Flr	79.50	
	Garage	49.60	
	Terrace	35.40	
Type C3	Ground Flr	23.00	196.50 Floor area
	First Flr	92.50	
	Second Flr	84.00	
	Garage	44.50	
	Terrace	35.00	
Type C4	Ground Flr	15.48	151.92 Floor area
	First Flr	98.85	
	Second Flr	79.00	
	Garage	53.63	
	Terrace	35.40	
Type C5	Ground Flr	28.40	151.92 Floor area
	First Flr	76.30	
	Second Flr	59.22	
	Garage	44.70	
	Terrace	29.20	
Type C6	Ground Flr	12.00	41.20 Open spaces
	First Flr	13.10	
	Second Flr	13.10	
	Terrace	13.10	
	Open Space	45.80	

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 3 of 40  
Date: 23/04/19

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

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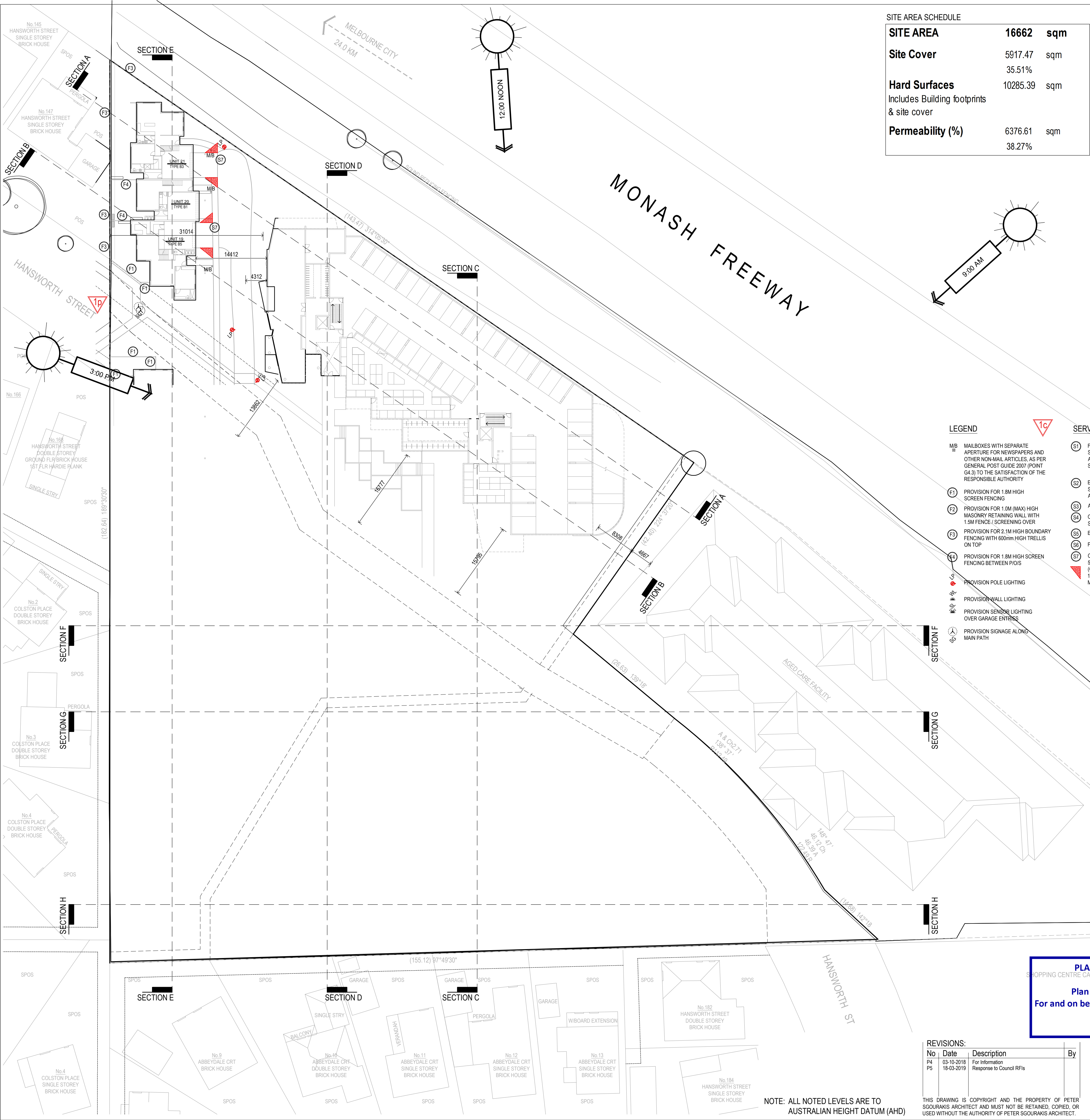


PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
SITE RESPONSE

- INFORMATION -			
DATE:	SCALE:		
MAR-18-19	1:500 @ A1		
DWG No:	REV:		
TA03	P5		
	MAR 18 2019		

SGOURAKIS  
ARCHITECTS  
2/405 MULGRAVE RD, MULGRAVE VIC 3170  
T: 03 9551 9884  
INFO@SGOURAKISARCHITECTS.COM





SITE AREA SCHEDULE			
SITE AREA	16662	sqm	
Site Cover	5917.47	sqm	
	35.51%		
Hard Surfaces	10285.39	sqm	
Includes Building footprints & site cover			
Permeability (%)	6376.61	sqm	
	38.27%		

APARTMENT TOWERS AREA SCHEDULE											
Levels	Car parking		Common Area (m <sup>2</sup> )	Residential Apartment Towers							Terraces Area (m <sup>2</sup> )
	Spaces	Area (m <sup>2</sup> )		Area (m <sup>2</sup> )	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total	
Ground Lower	43	2240.40	152.40	2240.40	3		6		0	9	174.60
Ground Upper	33	1397.40	282.00	603.69	3		3		0	6	97.43
1st Floor	43	1325.50	207.80	605.74	3		8		0	13	379.79
2nd Floor			176.90	898.38	4		8		0	12	179.07
3rd Floor			176.30	953.56	5		8		0	13	167.28
4th Floor			176.30	953.56	5		8		0	13	167.28
5th Floor			176.30	953.56	5		8		0	13	167.28
6th Floor			149.00	755.56	2		6		1	9	223.90
7th Floor			175.00	734.56	5		5		0	10	136.00
8th Floor			162.00	599.76	3		5		0	8	175.90
Totals	119	4963.30	666.70	2107.81	35		57		1	93	
Required Car Park Analysis											
Rate				Visitors 0.20	1.00	1.00	2.00	2.00	2.00		Store 6m3 101
Required Cars				18.60	35.00	1.00	57.00	1.00	2.00		3m3 101
Total car spaces required	113	Bike Racks	27.9								Total 101

APARTMENT TOWERS AREA SCHEDULE	
Number of Apt's	93
1 beds	35
2 Beds	57
3 Beds	1
Car parking spaces	119
Bicycles	96
Floor areas	16776.19 sqm
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2236.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

TERRACE UNITS AREA SCHEDULE	
Number of Units	30
Car Parking - Visitors	7 spaces
Bicycles	-
Types	Total Number 6844.14 sqm
Type A1	1 215.20 sqm
Type A2	5 1152.50 sqm
Type A3	2 425.00 sqm
Type A4	1 227.22 sqm
Type B1	4 931.44 sqm
Type B2	5 971.50 sqm
Type B3	1 227.32 sqm
Type B4	1 208.17 sqm
Type B5	1 249.55 sqm
Type C1	1 256.20 sqm
Type C2	3 807.90 sqm
Type C3	1 244.00 sqm
Type C4	2 493.92 sqm
Type C5	1 206.62 sqm
Type C6	1 227.60 sqm

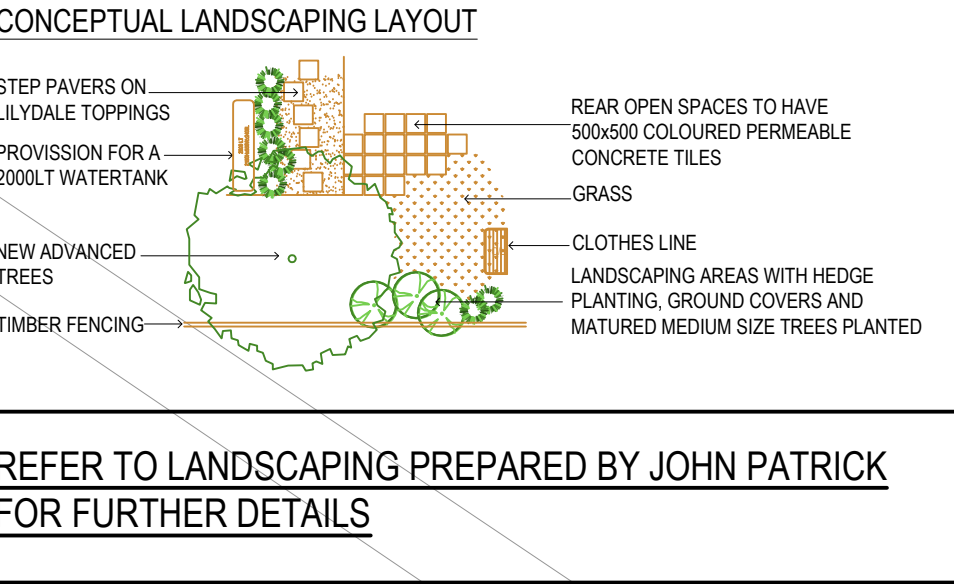
TERRACE UNITS TYPE A AREA SCHEDULE	
Unit Type	Area Total 215 sqm
Type A1	Ground Flr 88.90 Floor area
	First Flr 76.90 Floor area
	Garage 39.40
	Rear Courtyard 105.00 Open spaces
	Open Space 16.00
Unit Type	Area Total 231 sqm
Type A2	Ground Flr 107.50 Floor area
	First Flr 67.00
	Garage 36.00
	Rear Courtyard 87.00 103.20 Open spaces
	Open Space 16.20
Unit Type	Area Total 213 sqm
Type A3	Ground Flr 97.80 Floor area
	First Flr 77.50
	Garage 37.20
	Rear Courtyard 140.00 151.00 Open spaces
	Open Space 11.00
Unit Type	Area Total 227 sqm
Type A4	Ground Flr 99.00 Floor area
	First Flr 92.22
	Garage 36.00
	Rear Courtyard 99.00 133.00 Open spaces
	Open Space 34.00

TERRACE UNITS TYPE B AREA SCHEDULE	
Unit Type	Area Total 233 sqm
Type B1	Ground Flr 53.55 Floor area
	First Flr 82.00
	Garage 55.80
	Rear Courtyard 36.50
	Open Space 14.00
Unit Type	Area Total 194 sqm
Type B2	Ground Flr 75.70 Floor area
	First Flr 76.80
	Garage 42.00
	Rear Courtyard 62.00 71.00 Open spaces
	Open Space 9.00
Unit Type	Area Total 227 sqm
Type B3	Ground Flr 114.50 Floor area
	First Flr 68.52
	Garage 44.30
	Rear Courtyard 138.00 180.00 Open spaces
	Open Space 42.00
Unit Type	Area Total 208 sqm
Type B4	Ground Flr 98.57 Floor area
	First Flr 69.60
	Garage 40.00
	Rear Courtyard 89.75 114.75 Open spaces
	Open Space 25.00
Unit Type	Area Total 250 sqm
Type B5	Ground Flr 113.95 Floor area
	First Flr 92.00
	Garage 43.80
	Rear Courtyard 60.00 120.00 Open spaces
	Open Space 60.00

TERRACE UNITS TYPE C AREA SCHEDULE	
Unit Type	Area Total 256 sqm
Type C1	Ground Flr 45.80 Floor area
	First Flr 81.70
	Second Flr 79.20
	Garage 49.70
	Terrace 35.00
	Front Courtyard 11.50 45.50 Open spaces
	Open Space 0.00
Unit Type	Area Total 269 sqm
Type C2	Ground Flr 52.70 Floor area
	First Flr 87.50
	Second Flr 79.50
	Garage 49.80
	Terrace 35.40
	Front Courtyard 18.80 54.20 Open spaces
	Open Space 0.00
Unit Type	Area Total 244 sqm
Type C3	Ground Flr 23.00 Floor area
	First Flr 82.50
	Second Flr 84.00
	Garage 44.50
	Terrace 35.00
	Front Courtyard 19.00 54.00 Open spaces
	Open Space 0.00
Unit Type	Area Total 247 sqm
Type C4	Ground Flr 15.48 Floor area
	First Flr 98.85
	Second Flr 79.00
	Garage 53.63
	Terrace 35.40
	Front Courtyard 17.50 52.90 Open spaces
	Open Space 0.00
Unit Type	Area Total 297 sqm
Type C5	Ground Flr 78.30 Floor area
	First Flr 55.22
	Second Flr 44.70
	Garage 29.20
	Front Courtyard 12.00 41.20 Open spaces
	Open Space 0.00
Unit Type	Area Total 228 sqm
Type C6	Ground Flr 47.30 Floor area
	First Flr 81.30
	Second Flr 52.00
	Garage 47.00
	Terrace 13.10
	Front Courtyard 10.00 68.90 Open spaces
	Open Space 45.80

- LEGEND
- MB MAILBOXES WITH SEPARATE APERTURE FOR NEWSPAPERS AND OTHER NON-MAIL ARTICLES. AS PER GENERAL POST GUIDE 2007 (POINT 64.3) TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY
  - F1 PROVISION FOR 1.8M HIGH SCREEN FENCING
  - F2 PROVISION FOR 1.0M (MAX) HIGH MASONRY RETAINING WALL WITH 1.5M FENCE / SCREENING OVER
  - F3 PROVISION FOR 2.1M HIGH BOUNDARY FENCING WITH 600mm HIGH TRELLIS ON TOP
  - F4 PROVISION FOR 1.8M HIGH SCREEN FENCING BETWEEN PLOTS
  - PO PROVISION POLE LIGHTING
  - WL PROVISION WALL LIGHTING
  - SL PROVISION SENSOR LIGHTING OVER GARAGE ENTRIES
  - SS PROVISION SIGNAGE ALONG MAIN PATH

- SERVICES LEGEND
- S1 FIRE HYDRANT AND SPRINKLER SUCTION / BOOSTER CUPBOARD FOR APARTMENTS. REFER TO HYDRAULIC SUBMISSION FOR FURTHER DETAILS
  - S2 EXISTING HYDRANT AND SPRINKLER SUCTION / BOOSTER CUPBOARD FOR AGED CARE FACILITY
  - S3 APARTMENTS MAIN GAS METERS
  - S4 OUTLINE OF ALLOCATED SPACE FOR SUBSTATION KIOSK
  - S5 ELECTRICAL SWITCH ROOM AND NBN
  - S6 FIP PANEL
  - S7 CORNER SPRAY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTION (OR WITH A HEIGHT OF LESS THAN 1.2M) EXTENDING AT LEAST 2.0 METRE LONG X 2.5 METRES DEEP

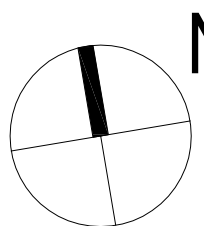


- PERMIT CONDITIONS
- 1a THE DETAILS OF THE PEDESTRIAN FOOTPATH REQUIRED BY CONDITION 3.
  - 1b A DETAILED SCHEDULE OF ALL MATERIALS AND FINISHES INCLUDING SAMPLES, COLOURED ELEVATIONS AND PERSPECTIVES. THE FACADES OF THE TOWER BUILDINGS MUST CONFIRM THE GLASS AND OTHER REFLECTIVE MATERIALS MEET THE RELEVANT EPA STANDARD FOR GLARE.
  - 1c THE LOCATION AND DESIGN OF ANY REQUIRED FIRE SERVICES, ELECTRICITY SUPPLY, GAS AND WATER METER BOXES DISCREETLY LOCATED AND/OR SCREENED TO COMPLIMENT THE DEVELOPMENT.

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 4 of 40  
Date: 23/04/19

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For Information	
P5	18-03-2019	Responses to Council RFIs	

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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWERS - LOWER GRND / CAR PARKING  
UNITS - PART GROUND LEVEL

- INFORMATION -  
DATE: MAR-18-19  
SCALE: 1:400 @ A1  
1:800 @ A3  
DWG No: TA04  
REV: P5  
MAR 18 2019

SGOURAKIS  
ARCHITECTS  
2/40 COLSTON PLACE, MULGRAVE VIC 3170  
T: 03 9591 9984  
INFO@SGOURAKISARCHITECTS.COM

NOTE: ALL NOTED LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD)





SITE AREA SCHEDULE			
SITE AREA		16662	sqm
Site Cover		5917.47	sqm
Hard Surfaces		10285.39	sqm
Includes Building footprints & site cover			
Permeability (%)		6376.61	sqm
		38.27%	

APARTMENT TOWERS AREA SCHEDULE											
Levels	Car parking		Common Area (m2)	Residential Apartment Towers							Terraces Area (m2)
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total	
Ground Lower	43	2240.40	152.40	2240.40							2240.40
Ground Upper	33	1397.40	282.00	803.69	3		6		0	9	1746.09
1st Floor	43	1325.50	207.80	605.74	3		3		0	6	97.43
2nd Floor			176.90	898.38	4		8		0	12	379.79
3rd Floor			176.30	953.56	5		8		0	13	167.28
4th Floor			176.30	953.56	5		8		0	13	167.28
5th Floor			176.30	953.56	5		8		0	13	167.28
6th Floor			149.00	755.56	2		6		1	9	223.90
7th Floor			175.00	734.56	5		5		0	10	136.00
8th Floor			162.00	599.76	3		5		0	8	175.90
Totals	119	4963.30	666.70	2107.81	35		57		1	93	16776.19

Required Car Park Analysis	Visitors	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Store
Rate	0.20	1.00	1.00	1.00	1.00	2.00	6m3
Required Cars	18.60	35.00		57.00		2.00	3m3
Total car spaces required	113	Bike Racks	27.9				Total
							101

APARTMENT TOWERS AREA SCHEDULE	
Number of Apt's	93
1 beds	35
2 Beds	57
3 Beds	1
Car parking spaces	119
Bicycles	96
Floor areas	16776.19 sqm
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2236.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

TERRACE UNITS AREA SCHEDULE			
Number of Units		30	
Car Parking - Visitors		7	spaces
Bicycles		-	
Types	Total Number	684.44	sqm
Type A1 <td>1<td>215.20<td>sqm</td></td></td>	1 <td>215.20<td>sqm</td></td>	215.20 <td>sqm</td>	sqm
Type A2 <td>5<td>1152.50<td>sqm</td></td></td>	5 <td>1152.50<td>sqm</td></td>	1152.50 <td>sqm</td>	sqm
Type A3 <td>2<td>425.00<td>sqm</td></td></td>	2 <td>425.00<td>sqm</td></td>	425.00 <td>sqm</td>	sqm
Type A4 <td>1<td>227.22<td>sqm</td></td></td>	1 <td>227.22<td>sqm</td></td>	227.22 <td>sqm</td>	sqm
Type B1 <td>4<td>931.44<td>sqm</td></td></td>	4 <td>931.44<td>sqm</td></td>	931.44 <td>sqm</td>	sqm
Type B2 <td>5<td>971.50<td>sqm</td></td></td>	5 <td>971.50<td>sqm</td></td>	971.50 <td>sqm</td>	sqm
Type B3 <td>1<td>227.32<td>sqm</td></td></td>	1 <td>227.32<td>sqm</td></td>	227.32 <td>sqm</td>	sqm
Type B4 <td>1<td>208.17<td>sqm</td></td></td>	1 <td>208.17<td>sqm</td></td>	208.17 <td>sqm</td>	sqm
Type B5 <td>1<td>249.55<td>sqm</td></td></td>	1 <td>249.55<td>sqm</td></td>	249.55 <td>sqm</td>	sqm
Type C1 <td>1<td>256.20<td>sqm</td></td></td>	1 <td>256.20<td>sqm</td></td>	256.20 <td>sqm</td>	sqm
Type C2 <td>3<td>807.90<td>sqm</td></td></td>	3 <td>807.90<td>sqm</td></td>	807.90 <td>sqm</td>	sqm
Type C3 <td>1<td>244.00<td>sqm</td></td></td>	1 <td>244.00<td>sqm</td></td>	244.00 <td>sqm</td>	sqm
Type C4 <td>2<td>493.92<td>sqm</td></td></td>	2 <td>493.92<td>sqm</td></td>	493.92 <td>sqm</td>	sqm
Type C5 <td>1<td>206.62<td>sqm</td></td></td>	1 <td>206.62<td>sqm</td></td>	206.62 <td>sqm</td>	sqm
Type C6 <td>1<td>227.60<td>sqm</td></td></td>	1 <td>227.60<td>sqm</td></td>	227.60 <td>sqm</td>	sqm

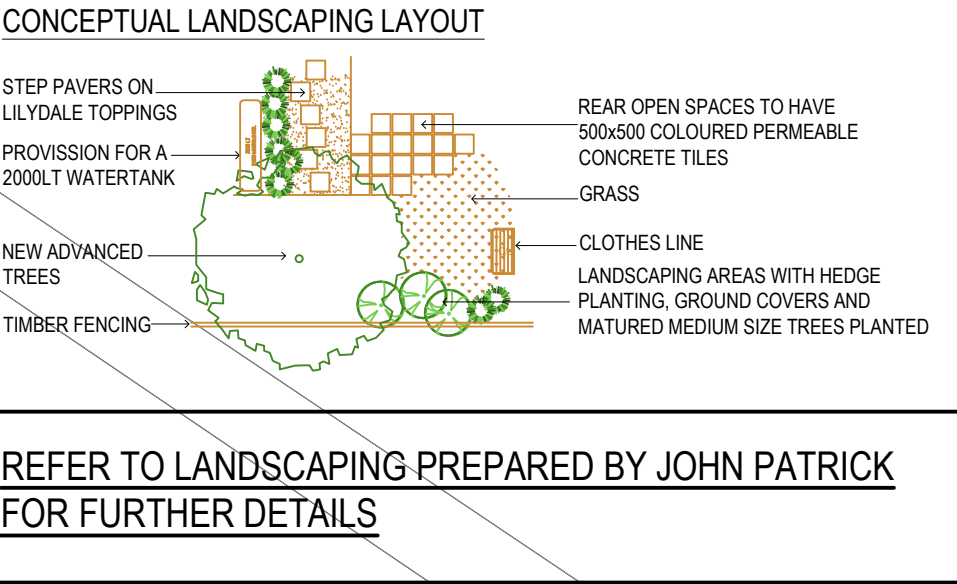
TERRACE UNITS TYPE A AREA SCHEDULE					
Unit Type A1		Area	Total	215	sqm
	Ground Flr	98.00	175.80	Floor area	
	First Flr	76.00			
	Garage	36.40			
	Rear Courtyard	105.00	121.00	Open spaces	
	Open Space	16.00			
Unit Type A2		Area	Total	231	sqm
	Ground Flr	107.50	194.50	Floor area	
	First Flr	87.00			
	Garage	36.00			
	Rear Courtyard	87.00	103.20	Open spaces	
	Open Space	16.20			
Unit Type A3		Area	Total	213	sqm
	Ground Flr	97.80	175.30	Floor area	
	First Flr	77.50			
	Garage	37.20			
	Rear Courtyard	140.00	151.00	Open spaces	
	Open Space	11.00			
Unit Type A4		Area	Total	227	sqm
	Ground Flr	99.00	119.22	Floor area	
	First Flr	92.22			
	Garage	36.00			
	Rear Courtyard	99.00	133.00	Open spaces	
	Open Space	34.00			

TERRACE UNITS TYPE B AREA SCHEDULE				
Type B1		Area	Total	233 sqm
Ground Flr	53.50		196.36	Floor area
First Flr	82.00			
Second Flr	55.80			
Garage	36.50			
Terrace	14.00			
Rear Courtyard	56.00	76.60		Open spaces
Open Space	9.60			
Type B2		Area	Total	194 sqm
Ground Flr	75.70		152.30	Floor area
First Flr	76.60			
Garage	42.00			
Rear Courtyard	62.00	71.00		Open spaces
Open Space	9.00			
Type B3		Area	Total	227 sqm
Ground Flr	114.50		183.02	Floor area
First Flr	68.52			
Garage	44.30			
Rear Courtyard	138.00	180.00		Open spaces
Open Space	42.00			
Type B4		Area	Total	208 sqm
Ground Flr	98.57		168.17	Floor area
First Flr	69.60			
Garage	40.00			
Rear Courtyard	89.75	114.75		Open spaces
Open Space	25.00			
Type B5		Area	Total	250 sqm
Ground Flr	113.95		205.95	Floor area
First Flr	92.00			
Garage	43.80			
Rear Courtyard	60.00	120.00		Open spaces
Open Space	60.00			

TERRACE UNITS TYPE C AREA SCHEDULE				
Unit Type	Area	Total	256	sqm
Type C1	Ground Flr	45.80	206.50	Floor area
	First Flr	81.70		
	Second Flr	79.20		
	Garage	49.70		
	Terrace	35.00		
	Front Courtyard	11.50	46.50	Open spaces
	Open Space	0.00		
Unit Type	Area	Total	269	sqm
Type C2	Ground Flr	52.70	219.70	Floor area
	First Flr	87.50		
	Second Flr	79.50		
	Garage	49.60		
	Terrace	35.40		
	Front Courtyard	18.80	54.20	Open spaces
	Open Space	0.00		
Unit Type	Area	Total	244	sqm
Type C3	Ground Flr	23.00	199.50	Floor area
	First Flr	82.50		
	Second Flr	84.00		
	Garage	44.50		
	Terrace	35.00		
	Front Courtyard	19.00	54.00	Open spaces
	Open Space	0.00		
Unit Type	Area	Total	247	sqm
Type C4	Ground Flr	15.48	193.33	Floor area
	First Flr	98.85		
	Second Flr	79.00		
	Garage	53.63		
	Terrace	35.40		
	Front Courtyard	17.50	52.90	Open spaces
	Open Space	0.00		
Unit Type	Area	Total	207	sqm
Type C5	Ground Flr	28.43	161.92	Floor area
	First Flr	79.30		
	Second Flr	55.22		
	Garage	44.70		
	Terrace	29.20		
	Front Courtyard	12.00	41.20	Open spaces
	Open Space	0.00		
Unit Type	Area	Total	228	sqm
Type C6	Ground Flr	47.30	180.60	Floor area
	First Flr	81.30		
	Second Flr	52.00		
	Garage	47.00		
	Terrace	13.10		
	Front Courtyard	10.00	68.90	Open spaces
	Open Space	45.80		

- LEGEND
- MB MAILBOXES WITH SEPARATE APERTURE FOR NEWSPAPERS AND OTHER NON-MAIL ARTICLES. AS PER GENERAL POST GUIDE 2007 (POINT 64.3) TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY
  - F1 PROVISION FOR 1.8M HIGH SCREEN FENCING
  - F2 PROVISION FOR 1.0M (MAX) HIGH MASONRY RETAINING WALL WITH 1.5M FENCE / SCREENING OVER
  - F3 PROVISION FOR 2.1M HIGH BOUNDARY FENCING WITH 600mm HIGH TRELLIS ON TOP
  - F4 PROVISION FOR 1.8M HIGH SCREEN FENCING BETWEEN PLOTS
  - F5 PROVISION POLE LIGHTING
  - F6 PROVISION WALL LIGHTING
  - F7 PROVISION SENSOR LIGHTING OVER GARAGE ENTRIES
  - F8 PROVISION SIGNAGE ALONG MAIN PATH

- SERVICES LEGEND
- S1 FIRE HYDRANT AND SPRINKLER SUCTION / BOOSTER CUPBOARD FOR APARTMENTS. REFER TO HYDRAULIC SUBMISSION FOR FURTHER DETAILS
  - S2 EXISTING HYDRANT AND SPRINKLER SUCTION / BOOSTER CUPBOARD FOR AGED CARE FACILITY
  - S3 APARTMENTS MAIN GAS METERS
  - S4 OUTLINE OF ALLOCATED SPACE FOR SUBSTATION KIOSK
  - S5 ELECTRICAL SWITCH ROOM AND NBN
  - S6 FIP PANEL
  - S7 CORNER SPLAY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTION (OR WITH A HEIGHT OF LESS THAN 1.2M) EXTENDING AT LEAST 2.0 METRE LONG X 2.5 METRES DEEP

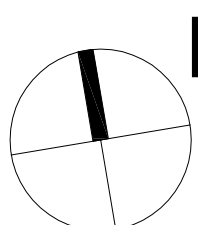


- PERMIT CONDITIONS
- 1a THE DETAILS OF THE PEDESTRIAN FOOTPATH REQUIRED BY CONDITION 3.
  - 1b A DETAILED SCHEDULE OF ALL MATERIALS AND FINISHES INCLUDING SAMPLES, COLOURED ELEVATIONS AND PERSPECTIVES. THE FACADES OF THE TOWER BUILDINGS MUST CONFIRM THE GLASS AND OTHER REFLECTIVE MATERIALS MEET THE RELEVANT EPA STANDARD FOR GLARE.
  - 1c THE LOCATION AND DESIGN OF ANY REQUIRED FIRE SERVICES, ELECTRICITY SUPPLY, GAS AND WATER METER BOXES DISCREETLY LOCATED AND/OR SCREENED TO COMPLEMENT THE DEVELOPMENT.
  - 1f REDESIGN OF THE ENTRY AREA TO THE LAND ACCESSED OFF HANSWORTH STREET AT THE WESTERN END OF THE SITE TO ACCORD WITH THE RECOMMENDATIONS MADE IN THE EVIDENCE OF CRAIG CZARNY GIVEN IN THE VCAT HEARING IN P2277/2016 (INCLUDING A REVISED MORE SYMPATHETIC/TRANSPARENT FENCING TREATMENT ON THAT PART OF THE WESTERN BOUNDARY ALONGSIDE HANSWORTH STREET).
  - 1g A GENERAL SIGNAGE PLAN, INCLUDING PROVIDING DIRECTIONAL SIGNAGE FOR THE RESIDENTIAL ENTRIES FOR THE TOWERS.

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 5 of 40  
Date: 23/04/19

REVISIONS:			
No	Date	Description	By
P4	03-10-2019	For Information	
P5	18-03-2019	Response to Council RFIs	

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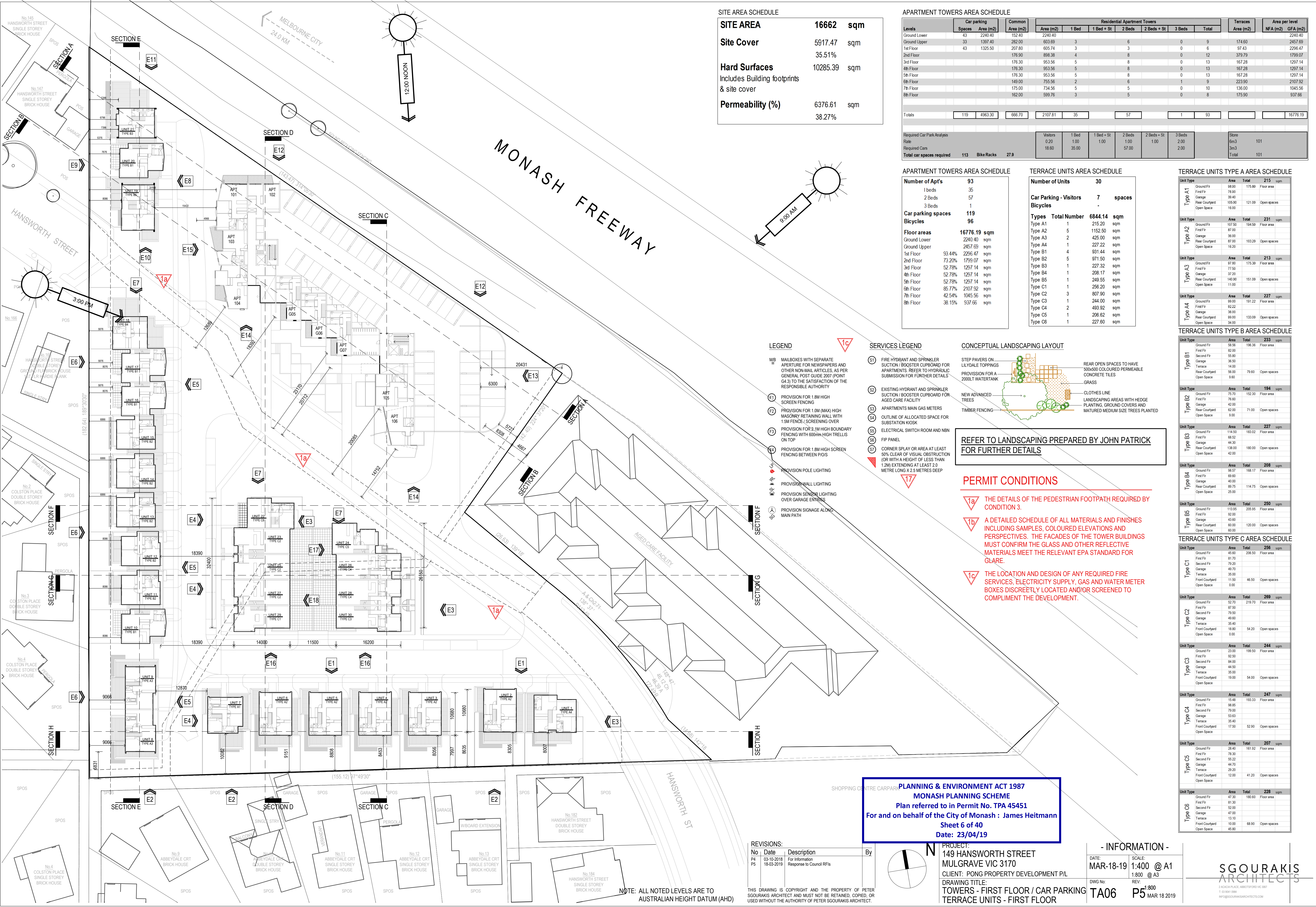


PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWERS - UPPER GRND / CAR PARKING  
TERRACE UNITS - GROUND LEVEL

- INFORMATION -  
DATE: MAR-18-19  
SCALE: 1:400 @ A1  
1:800 @ A3  
DWG No: TA05  
REV: P5  
MAR 18 2019

SGOURAKIS  
ARCHITECTS  
2 JACKSON ROAD - MULGRAVE VIC 3170  
T: 03 9551 9984  
INFO@SGOURAKISARCHITECTS.COM





SITE AREA SCHEDULE			
<b>SITE AREA</b>	<b>16662</b>	<b>sqm</b>	
<b>Site Cover</b>	<b>5917.47</b>	<b>sqm</b>	
	<b>35.51%</b>		
<b>Hard Surfaces</b>	<b>10285.39</b>	<b>sqm</b>	
<b>Includes Building footprints &amp; site cover</b>			
<b>Permeability (%)</b>	<b>6376.61</b>	<b>sqm</b>	
	<b>38.27%</b>		

APARTMENT TOWERS AREA SCHEDULE											
Levels	Car parking		Common Area (m2)	Residential Apartment Towers							Terraces Area (m2)
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total	
Ground Lower	43	2240.40	152.40	2240.40	3		6		0	9	174.60
Ground Upper	33	1397.40	282.00	603.69	3		3		0	6	97.43
1st Floor	43	1325.50	207.80	605.74	3		8		0	12	379.79
2nd Floor			176.90	898.38	4		8		0	12	179.07
3rd Floor			176.30	953.56	5		8		0	13	167.28
4th Floor			176.30	953.56	5		8		0	13	167.28
5th Floor			176.30	953.56	5		8		0	13	167.28
6th Floor			149.00	755.56	2		6		1	9	223.90
7th Floor			175.00	734.56	5		5		0	10	136.00
8th Floor			162.00	599.76	3		5		0	8	175.90
Totals	119	4963.30	666.70	2107.81	35		57		1	93	

Required Car Park Analysis Rate	Visitors	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Store
Required Cars	0.20	1.00	1.00	1.00	1.00	2.00	6m3
Total car spaces required	113	18.60	35.00	57.00	1.00	2.00	3m3
	Bike Racks	27.9					Total
							101

APARTMENT TOWERS AREA SCHEDULE	
Number of Apt's	93
1 beds	35
2 Beds	57
3 Beds	1
Car parking spaces	119
Bicycles	96
Floor areas	16776.19 sqm
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2236.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

TERRACE UNITS AREA SCHEDULE			
Number of Units		30	
Car Parking - Visitors		7	spaces
Bicycles		-	
Types	Total Number	684.44	sqm
Type A1 <td>1<td>215.20<td>sqm</td></td></td>	1 <td>215.20<td>sqm</td></td>	215.20 <td>sqm</td>	sqm
Type A2 <td>5<td>1152.50<td>sqm</td></td></td>	5 <td>1152.50<td>sqm</td></td>	1152.50 <td>sqm</td>	sqm
Type A3 <td>2<td>425.00<td>sqm</td></td></td>	2 <td>425.00<td>sqm</td></td>	425.00 <td>sqm</td>	sqm
Type A4 <td>1<td>227.22<td>sqm</td></td></td>	1 <td>227.22<td>sqm</td></td>	227.22 <td>sqm</td>	sqm
Type B1 <td>4<td>931.44<td>sqm</td></td></td>	4 <td>931.44<td>sqm</td></td>	931.44 <td>sqm</td>	sqm
Type B2 <td>5<td>971.50<td>sqm</td></td></td>	5 <td>971.50<td>sqm</td></td>	971.50 <td>sqm</td>	sqm
Type B3 <td>1<td>227.32<td>sqm</td></td></td>	1 <td>227.32<td>sqm</td></td>	227.32 <td>sqm</td>	sqm
Type B4 <td>1<td>208.17<td>sqm</td></td></td>	1 <td>208.17<td>sqm</td></td>	208.17 <td>sqm</td>	sqm
Type B5 <td>1<td>249.55<td>sqm</td></td></td>	1 <td>249.55<td>sqm</td></td>	249.55 <td>sqm</td>	sqm
Type C1 <td>1<td>256.20<td>sqm</td></td></td>	1 <td>256.20<td>sqm</td></td>	256.20 <td>sqm</td>	sqm
Type C2 <td>3<td>807.90<td>sqm</td></td></td>	3 <td>807.90<td>sqm</td></td>	807.90 <td>sqm</td>	sqm
Type C3 <td>1<td>244.00<td>sqm</td></td></td>	1 <td>244.00<td>sqm</td></td>	244.00 <td>sqm</td>	sqm
Type C4 <td>2<td>493.92<td>sqm</td></td></td>	2 <td>493.92<td>sqm</td></td>	493.92 <td>sqm</td>	sqm
Type C5 <td>1<td>206.82<td>sqm</td></td></td>	1 <td>206.82<td>sqm</td></td>	206.82 <td>sqm</td>	sqm
Type C6 <td>1<td>227.80<td>sqm</td></td></td>	1 <td>227.80<td>sqm</td></td>	227.80 <td>sqm</td>	sqm

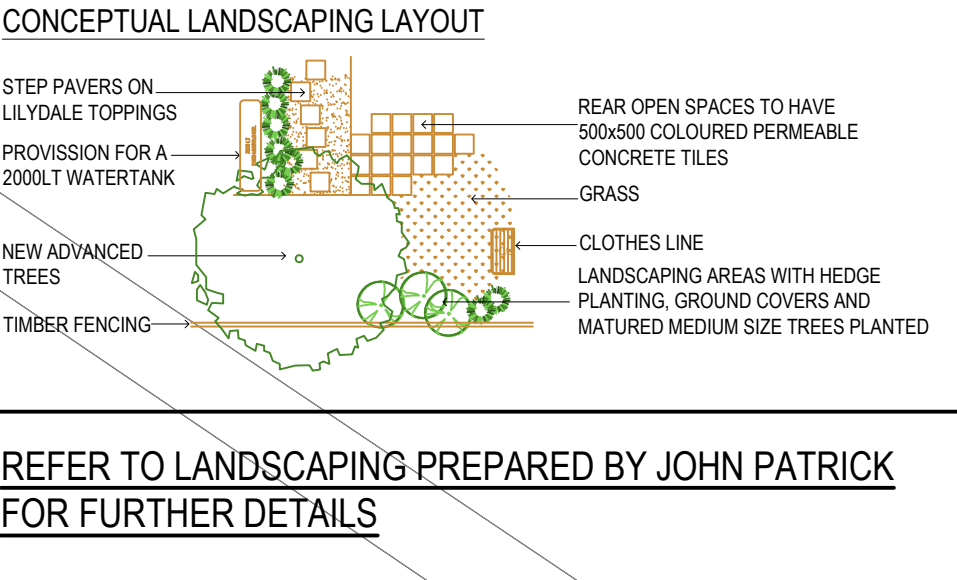
TERRACE UNITS TYPE A AREA SCHEDULE				
Unit Type	Area	Total	215	sqm
Type A1	Ground Flr	98.90	175.80	Floor area
	First Flr	76.90		
	Garage	36.40		
	Rear Courtyard	105.00	121.00	Open spaces
	Open Space	16.00		
Unit Type	Area	Total	231	sqm
Type A2	Ground Flr	107.50	194.50	Floor area
	First Flr	67.00		
	Garage	36.00		
	Rear Courtyard	87.00	103.20	Open spaces
	Open Space	16.00		
Unit Type	Area	Total	213	sqm
Type A3	Ground Flr	97.80	175.30	Floor area
	First Flr	77.50		
	Garage	37.20		
	Rear Courtyard	140.00	151.00	Open spaces
	Open Space	11.00		
Unit Type	Area	Total	227	sqm
Type A4	Ground Flr	99.00	191.22	Floor area
	First Flr	92.22		
	Garage	36.00		
	Rear Courtyard	99.00	133.00	Open spaces
	Open Space	34.00		

TERRACE UNITS TYPE B AREA SCHEDULE				
Unit Type		Area	Total	233 sqm
Type B1	Ground Flr	55.86	196.38	Floor area
	First Flr	82.00		
	Second Flr	55.86		
	Garage	36.50		
	Terrace	14.00		
	Rear Courtyard	56.00	76.60	Open spaces
	Open Space	9.60		
Unit Type		Area	Total	194 sqm
Type B2	Ground Flr	75.70	152.30	Floor area
	First Flr	76.60		
	Garage	42.00	71.00	
	Rear Courtyard	62.00		Open spaces
	Open Space	9.00		
Unit Type		Area	Total	227 sqm
Type B3	Ground Flr	114.50	183.02	Floor area
	First Flr	68.52		
	Garage	44.30		
	Rear Courtyard	138.00	150.00	Open spaces
	Open Space	42.00		
Unit Type		Area	Total	208 sqm
Type B4	Ground Flr	98.57	168.17	Floor area
	First Flr	69.60		
	Garage	40.00		
	Rear Courtyard	89.75	114.75	Open spaces
	Open Space	25.00		
Unit Type		Area	Total	250 sqm
Type B5	Ground Flr	113.95	205.95	Floor area
	First Flr	92.00		
	Garage	43.80		
	Rear Courtyard	60.00	120.00	Open spaces
	Open Space	60.00		

TERRACE UNITS TYPE C AREA SCHEDULE				
Unit Type	Area	Total	256	sqm
Type C1	Ground Flr	45.80	206.50	Floor area
	First Flr	81.70		
	Second Flr	79.20		
	Garage	49.70		
	Terrace	35.00		
	Front Courtyard	11.50	46.50	Open spaces
	Open Space	0.00		
Unit Type <th>Area</th> <th>Total</th> <th>269</th> <th>sqm</th>	Area	Total	269	sqm
Type C2	Ground Flr	52.70	219.70	Floor area
	First Flr	87.50		
	Second Flr	79.50		
	Garage	49.80		
	Terrace	35.40		
	Front Courtyard	18.80	54.20	Open spaces
	Open Space	0.00		
Unit Type <th>Area</th> <th>Total</th> <th>244</th> <th>sqm</th>	Area	Total	244	sqm
Type C3	Ground Flr	23.00	199.50	Floor area
	First Flr	82.50		
	Second Flr	84.00		
	Garage	44.50		
	Terrace	35.00		
	Front Courtyard	19.00	54.00	Open spaces
	Open Space	0.00		
Unit Type <th>Area</th> <th>Total</th> <th>247</th> <th>sqm</th>	Area	Total	247	sqm
Type C4	Ground Flr	15.48	193.33	Floor area
	First Flr	98.85		
	Second Flr	79.00		
	Garage	53.63		
	Terrace	35.40		
	Front Courtyard	17.50	52.90	Open spaces
	Open Space	0.00		
Unit Type <th>Area</th> <th>Total</th> <th>207</th> <th>sqm</th>	Area	Total	207	sqm
Type C5	Ground Flr	29.40	161.92	Floor area
	First Flr	78.30		
	Second Flr	55.22		
	Garage	44.70		
	Terrace	29.20		
	Front Courtyard	12.00	41.20	Open spaces
	Open Space	0.00		
Unit Type <th>Area</th> <th>Total</th> <th>228</th> <th>sqm</th>	Area	Total	228	sqm
Type C6	Ground Flr	47.30	180.60	Floor area
	First Flr	81.30		
	Second Flr	52.00		
	Garage	47.00		
	Terrace	13.10		
	Front Courtyard	10.00	68.90	Open spaces
	Open Space	45.80		

- LEGEND**
- MB MAILBOXES WITH SEPARATE APERTURE FOR NEWSPAPERS AND OTHER NON-MAIL ARTICLES, AS PER GENERAL POST GUIDE 2007 (POINT 64.3) TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY
  - F1 PROVISION FOR 1.8M HIGH SCREEN FENCING
  - F2 PROVISION FOR 1.0M (MAX) HIGH MASONRY RETAINING WALL WITH 1.5M FENCE / SCREENING OVER
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  - PL PROVISION POLE LIGHTING
  - WL PROVISION WALL LIGHTING
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- SERVICES LEGEND**
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  - S6 FIP PANEL
  - S7 CORNER SPRAY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTION (OR WITH A HEIGHT OF LESS THAN 1.2M) EXTENDING AT LEAST 2.0 METRE LONG X 2.5 METRES DEEP

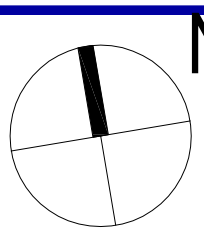


- PERMIT CONDITIONS**
- 1a THE DETAILS OF THE PEDESTRIAN FOOTPATH REQUIRED BY CONDITION 3.
  - 1b A DETAILED SCHEDULE OF ALL MATERIALS AND FINISHES INCLUDING SAMPLES, COLOURED ELEVATIONS AND PERSPECTIVES. THE FACADES OF THE TOWER BUILDINGS MUST CONFIRM THE GLASS AND OTHER REFLECTIVE MATERIALS MEET THE RELEVANT EPA STANDARD FOR GLARE.
  - 1c THE LOCATION AND DESIGN OF ANY REQUIRED FIRE SERVICES, ELECTRICITY SUPPLY, GAS AND WATER METER BOXES DISCREETLY LOCATED AND/OR SCREENED TO COMPLIMENT THE DEVELOPMENT.

**PLANNING & ENVIRONMENT ACT 1987**  
**MONASH PLANNING SCHEME**  
**Plan referred to in Permit No. TPA 45451**  
**For and on behalf of the City of Monash : James Heitmann**  
**Sheet 6 of 40**  
**Date: 23/04/19**

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For Information	
P5	18-03-2019	Responses to Council RFIs	

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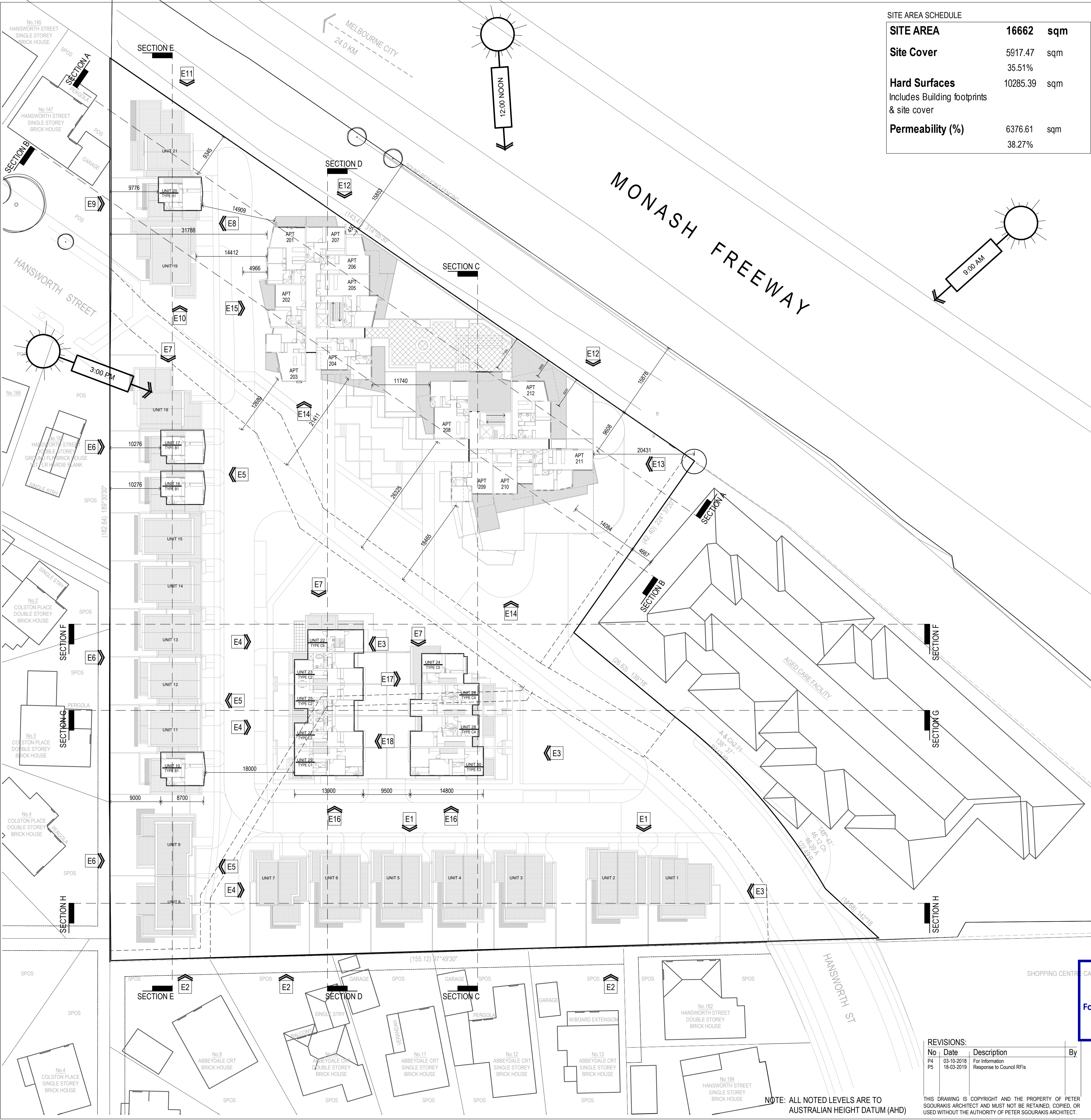


**PROJECT:**  
**149 HANSWORTH STREET**  
**MULGRAVE VIC 3170**  
**CLIENT: PONG PROPERTY DEVELOPMENT P/L**  
**DRAWING TITLE:**  
**TOWERS - FIRST FLOOR / CAR PARKING**  
**TERRACE UNITS - FIRST FLOOR**

**- INFORMATION -**  
**DATE:**  
**MAR-18-19**  
**SCALE:**  
**1:400 @ A1**  
**1:800 @ A3**  
**DWG No:**  
**TA06**  
**REV:**  
**P5**  
**1:800**  
**MAR 18 2019**

**SGOURAKIS ARCHITECTS**  
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SITE AREA SCHEDULE			
SITE AREA		16662	sqm
Site Cover		5917.47	sqm
		35.51%	
Hard Surfaces		10285.39	sqm
Includes Building footprints & site cover			
Permeability (%)		6376.61	sqm
		38.27%	

APARTMENT TOWERS AREA SCHEDULE										
Levels	Car parking		Common Area (m2)	Residential Apartment Towers						
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total
Ground Lower	43	2240.40	152.40	2240.40						
Ground Upper	33	1397.40	282.00	603.69	3		6		0	9
1st Floor	43	1325.50	207.80	605.74	3		3		0	6
2nd Floor			176.90	898.38	4		8		0	12
3rd Floor			176.30	953.56	5		8		0	13
4th Floor			176.30	953.56	5		8		0	13
5th Floor			176.30	953.56	5		8		0	13
6th Floor			149.00	755.56	2		6		1	9
7th Floor			175.00	734.56	5		5		0	10
8th Floor			162.00	599.76	3		5		0	8
Totals	119	4963.30	666.70	2107.81	35		57		1	93
Required Car Park Analysis										
Rate					Visitors 0.20	1 Bed 1.00	1 Bed + St 1.00	2 Beds 1.00	2 Beds + St 1.00	3 Beds 2.00
Required Cars					18.60	35.00		57.00		2.00
Total car spaces required	113									
Bike Racks			27.9							
Store										
6m3										
3m3										
Total										101

APARTMENT TOWERS AREA SCHEDULE	
Number of Apt's	93
1 beds	35
2 Beds	57
3 Beds	1
Car parking spaces	119
Bicycles	96
Floor areas	16776.19 sqm
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2236.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

TERRACE UNITS AREA SCHEDULE			
Number of Units		30	
Car Parking - Visitors		7	spaces
Bicycles		-	bicycles
Types	Total Number	6844.14	sqm
Type A1	1	215.20	sqm
Type A2	5	1152.50	sqm
Type A3	2	425.00	sqm
Type A4	1	227.22	sqm
Type B1	4	931.44	sqm
Type B2	5	971.50	sqm
Type B3	1	227.32	sqm
Type B4	1	208.17	sqm
Type B5	1	249.55	sqm
Type C1	1	256.20	sqm
Type C2	3	807.90	sqm
Type C3	1	244.00	sqm
Type C4	2	493.92	sqm
Type C5	1	206.82	sqm
Type C6	1	227.60	sqm

TERRACE UNITS TYPE A AREA SCHEDULE				
Unit Type		Area	Total	215 sqm
Type A1	Ground Flr	98.90	175.80	Floor area
	First Flr	76.90		
	Garage	39.40		
	Rear Courtyard	105.00	121.00	Open spaces
	Open Space	16.00		
Unit Type		Area	Total	231 sqm
Type A2	Ground Flr	107.50	194.50	Floor area
	First Flr	67.00		
	Garage	36.00		
	Rear Courtyard	87.00	103.20	Open spaces
	Open Space	16.20		
Unit Type		Area	Total	213 sqm
Type A3	Ground Flr	97.80	175.30	Floor area
	First Flr	175.30		
	Garage	37.20		
	Rear Courtyard	140.00	151.00	Open spaces
	Open Space	11.00		
Unit Type		Area	Total	227 sqm
Type A4	Ground Flr	99.00	191.22	Floor area
	First Flr	92.22		
	Garage	36.00		
	Rear Courtyard	99.00	130.00	Open spaces
	Open Space	34.00		

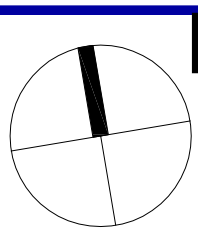
TERRACE UNITS TYPE B AREA SCHEDULE				
Unit Type		Area	Total	233 sqm
Type B1	Ground Flr	58.56	196.36	Floor area
	First Flr	82.00		
	Second Flr	55.80		
	Garage	36.50		
	Terrace	14.00		
	Rear Courtyard	56.00	79.60	Open spaces
Open Space	9.60			
Unit Type		Area	Total	194 sqm
Type B2	Ground Flr	75.70	152.30	Floor area
	First Flr	76.80		
	Garage	42.00		
	Rear Courtyard	62.00	171.00	Open spaces
	Open Space	9.00		
Unit Type		Area	Total	227 sqm
Type B3	Ground Flr	114.50	183.02	Floor area
	First Flr	68.52		
	Garage	44.30		
	Rear Courtyard	138.00	180.00	Open spaces
	Open Space	42.00		
Unit Type		Area	Total	208 sqm
Type B4	Ground Flr	98.57	168.17	Floor area
	First Flr	69.60		
	Garage	40.00		
	Rear Courtyard	89.75	114.75	Open spaces
	Open Space	25.00		
Unit Type		Area	Total	250 sqm
Type B5	Ground Flr	113.95	205.95	Floor area
	First Flr	92.00		
	Garage	43.80		
	Rear Courtyard	60.00	120.00	Open spaces
	Open Space	60.00		

TERRACE UNITS TYPE C AREA SCHEDULE					
Unit Type	Area	Total	256	sqm	
Type C1	Ground Flr	45.80	206.50	Floor area	
	First Flr	81.70			
	Second Flr	79.20			
	Garage	49.70			
	Terrace	35.00			
	Front Courtyard	11.50	45.50	Open spaces	
	Open Space	0.00			
Unit Type	Area	Total	269	sqm	
	Type C2	Ground Flr	52.70	219.70	Floor area
		First Flr	87.50		
		Second Flr	79.50		
		Garage	49.80		
		Terrace	35.40		
		Front Courtyard	18.80	54.20	Open spaces
Open Space		0.00			
Unit Type	Area	Total	244	sqm	
	Type C3	Ground Flr	23.00	199.50	Floor area
		First Flr	92.50		
		Second Flr	84.00		
		Garage	44.50		
		Terrace	35.00		
		Front Courtyard	19.00	54.00	Open spaces
Open Space		0.00			
Unit Type	Area	Total	247	sqm	
	Type C4	Ground Flr	15.48	193.33	Floor area
		First Flr	98.85		
		Second Flr	79.00		
		Garage	53.63		
		Terrace	35.40		
		Front Courtyard	17.50	52.90	Open spaces
Open Space		0.00			
Unit Type	Area	Total	207	sqm	
	Type C5	Ground Flr	29.40	161.92	Floor area
		First Flr	78.30		
		Second Flr	55.22		
		Garage	44.70		
		Terrace	29.20		
		Front Courtyard	12.00	41.20	Open spaces
Open Space		0.00			
Unit Type	Area	Total	228	sqm	
	Type C6	Ground Flr	47.20	180.60	Floor area
		First Flr	81.30		
		Second Flr	52.00		
		Garage	47.00		
		Terrace	13.10		
		Front Courtyard	10.00	66.90	Open spaces
Open Space		45.80			

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 7 of 40  
Date: 23/04/19

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

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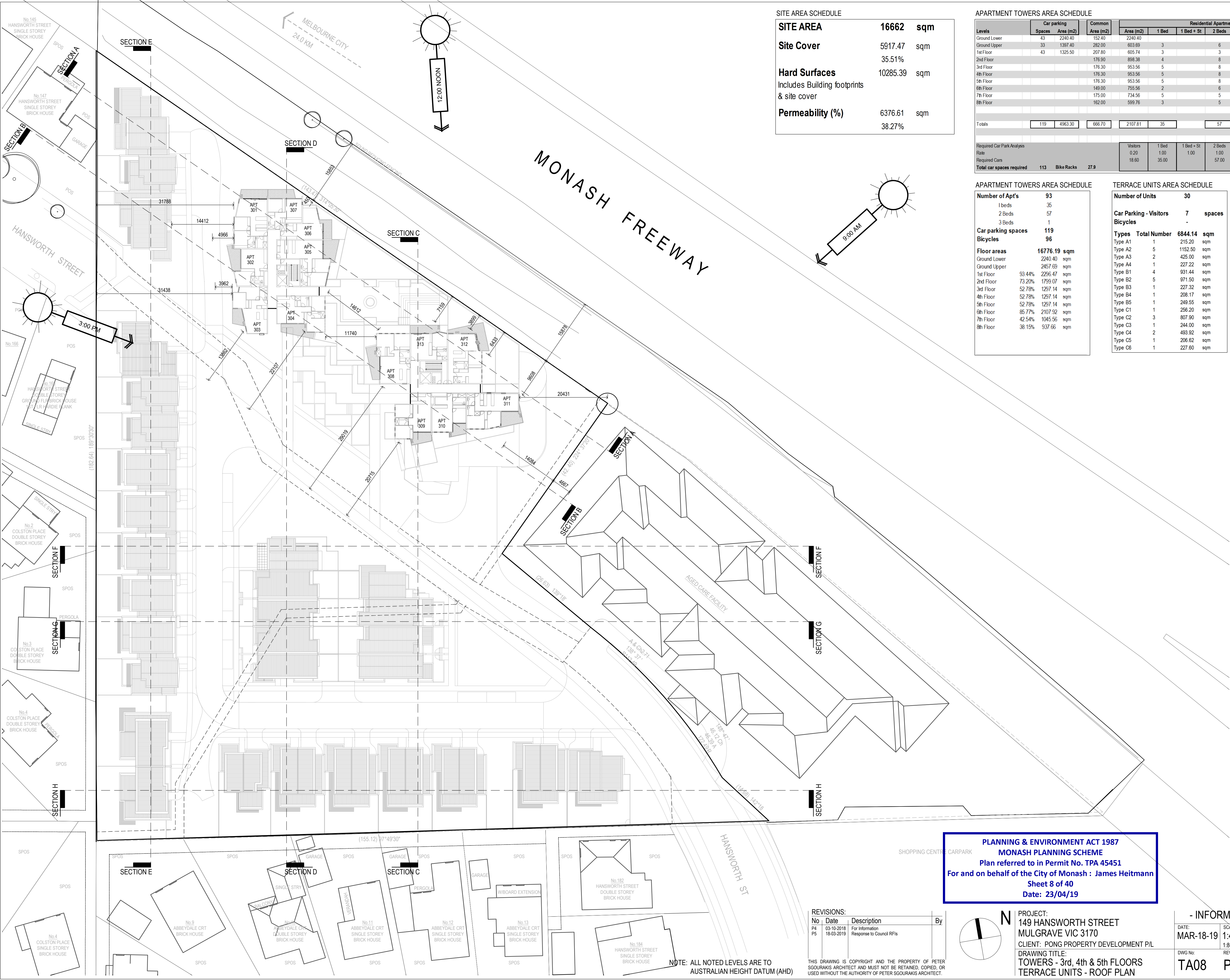


PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWERS - 2nd FLOOR  
TERRACE UNITS - 2nd FLOOR

- INFORMATION -  
DATE: MAR-18-19  
SCALE: 1:400 @ A1  
1:800 @ A3  
DWG No: TA07  
REV: P5  
MAR 18 2019

SGOURAKIS  
ARCHITECTS  
2/40 COLSTON PLACE  
T: 03 9551 9884  
INFO@SGOURAKISARCHITECTS.COM





SITE AREA SCHEDULE		
<b>SITE AREA</b>	<b>16662</b>	<b>sqm</b>
<b>Site Cover</b>	<b>5917.47</b>	<b>sqm</b>
	<b>35.51%</b>	
<b>Hard Surfaces</b>	<b>10285.39</b>	<b>sqm</b>
Includes Building footprints & site cover		
<b>Permeability (%)</b>	<b>6376.61</b>	<b>sqm</b>
	<b>38.27%</b>	

APARTMENT TOWERS AREA SCHEDULE										
Levels	Car parking		Common Area (m2)	Residential Apartment Towers						
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total
Ground Lower	43	2240.40	152.40	2240.40	3		6		9	174.60
Ground Upper	33	1397.40	282.00	605.74	3		3		6	97.43
1st Floor	43	1325.50	207.80	605.74	4		8		12	379.79
2nd Floor			176.90	898.38	5		8		0	167.28
3rd Floor			176.30	953.56	5		8		0	167.28
4th Floor			176.30	953.56	5		8		0	167.28
5th Floor			176.30	953.56	5		8		0	167.28
6th Floor			149.00	755.56	2		6		1	223.90
7th Floor			175.00	734.56	5		5		0	136.00
8th Floor			162.00	599.76	3		5		0	175.90
Totals	119	4963.30	666.70	2107.81	35		57		1	93

Required Car Park Analysis	Visitors	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Store
Rate	0.20	1.00	1.00	1.00	1.00	2.00	6m3
Required Cars	18.60	35.00		57.00		2.00	3m3
Total car spaces required	113	Bike Racks	27.9				Total

APARTMENT TOWERS AREA SCHEDULE	
<b>Number of Apt's</b>	<b>93</b>
1 beds	35
2 Beds	57
3 Beds	1
<b>Car parking spaces</b>	<b>119</b>
<b>Bicycles</b>	<b>96</b>
<b>Floor areas</b>	<b>16776.19 sqm</b>
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2236.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

TERRACE UNITS AREA SCHEDULE	
<b>Number of Units</b>	<b>30</b>
<b>Car Parking - Visitors</b>	<b>7 spaces</b>
<b>Bicycles</b>	<b>-</b>
<b>Types</b>	<b>Total Number</b>
Type A1	1
Type A2	5
Type A3	2
Type A4	1
Type B1	4
Type B2	5
Type B3	1
Type B4	1
Type B5	1
Type C1	1
Type C2	3
Type C3	1
Type C4	2
Type C5	1
Type C6	1

TERRACE UNITS TYPE A AREA SCHEDULE	
<b>Unit Type</b>	<b>Area</b>
Type A1	175.90
Type A2	175.90
Type A3	175.90
Type A4	175.90
Type B1	175.90
Type B2	175.90
Type B3	175.90
Type B4	175.90
Type B5	175.90
Type C1	175.90
Type C2	175.90
Type C3	175.90
Type C4	175.90
Type C5	175.90
Type C6	175.90

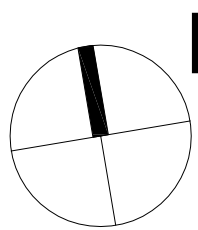
TERRACE UNITS TYPE B AREA SCHEDULE	
<b>Unit Type</b>	<b>Area</b>
Type B1	175.90
Type B2	175.90
Type B3	175.90
Type B4	175.90
Type B5	175.90
Type C1	175.90
Type C2	175.90
Type C3	175.90
Type C4	175.90
Type C5	175.90
Type C6	175.90

TERRACE UNITS TYPE C AREA SCHEDULE	
<b>Unit Type</b>	<b>Area</b>
Type C1	175.90
Type C2	175.90
Type C3	175.90
Type C4	175.90
Type C5	175.90
Type C6	175.90

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 5451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 8 of 40  
Date: 23/04/19

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RfIs	

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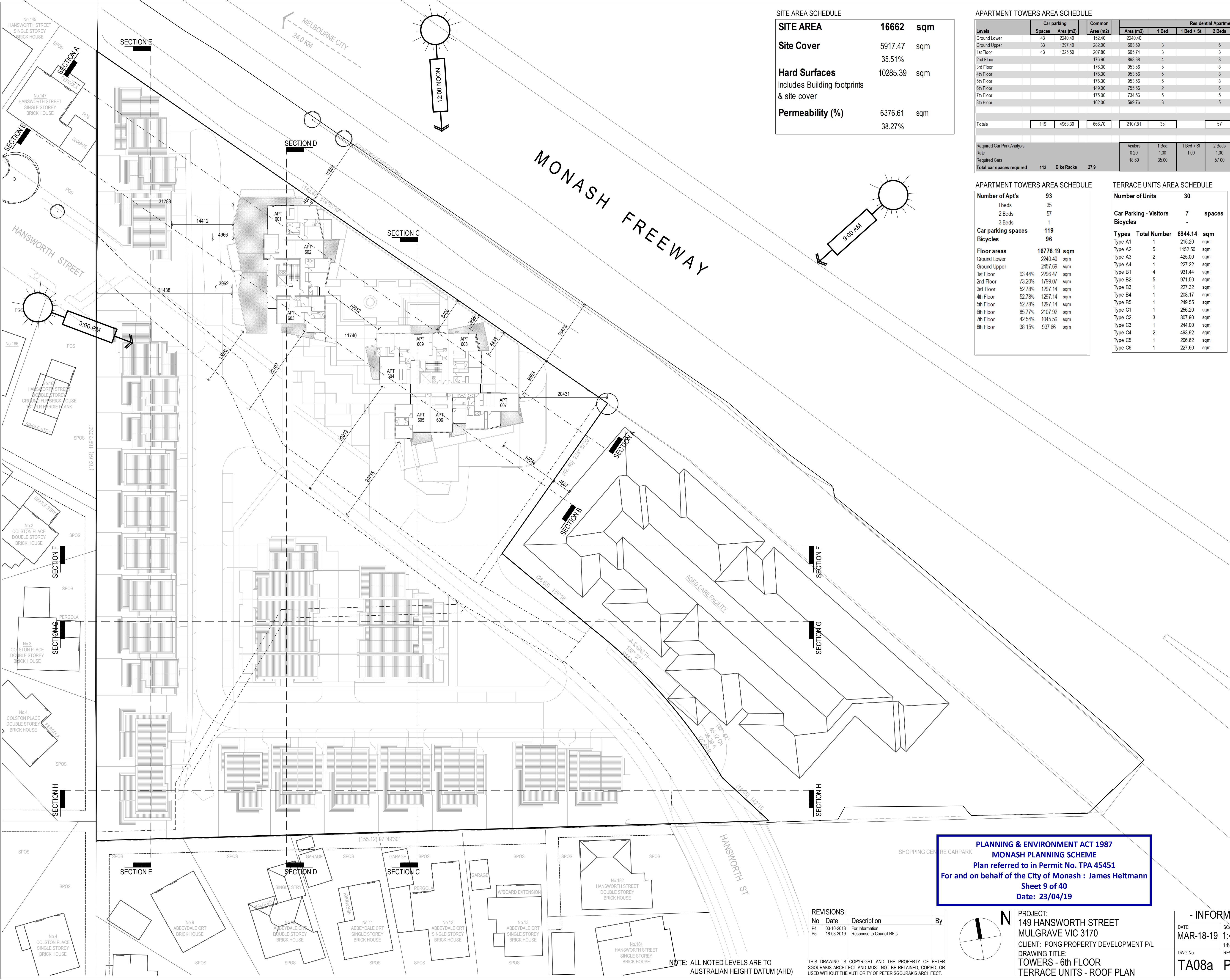


PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWERS - 3rd, 4th & 5th FLOORS  
TERRACE UNITS - ROOF PLAN

- INFORMATION -  
DATE: MAR-18-19  
SCALE: 1:400 @ A1  
1:800 @ A3  
DWG No: TA08  
REV: P5  
MAR 18 2019

SGOURAKIS  
ARCHITECTS  
2/40 COLSTON PLACE  
T: 03 9551 9884  
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SITE AREA SCHEDULE			
SITE AREA		16662	sqm
Site Cover		5917.47	sqm
		35.51%	
Hard Surfaces		10285.39	sqm
Includes Building footprints & site cover			
Permeability (%)		6376.61	sqm
		38.27%	

APARTMENT TOWERS AREA SCHEDULE											
Levels	Car parking		Common Area (m2)	Residential Apartment Towers							Terraces Area (m2)
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total	
Ground Lower	43	2240.40	152.40	2240.40							
Ground Upper	33	1397.40	282.00	603.69	3		6		0	9	174.60
1st Floor	43	1325.50	207.80	605.74	3		3		0	6	97.43
2nd Floor			176.90	898.38	4		8		0	12	379.79
3rd Floor			176.30	953.56	5		8		0	13	167.28
4th Floor			176.30	953.56	5		8		0	13	167.28
5th Floor			176.30	953.56	5		8		0	13	167.28
6th Floor			149.00	755.56	2		6		1	9	223.90
7th Floor			175.00	734.56	5		5		0	10	136.00
8th Floor			162.00	599.76	3		5		0	8	175.90
Totals	119	4963.30	666.70	2107.81	35		57		1	93	
Required Car Park Analysis											
Rate					Visitors 0.20	1 Bed 1.00	1 Bed + St 1.00	2 Beds 1.00	2 Beds + St 1.00	3 Beds 2.00	Store 6m3
Required Cars					18.60	35.00		57.00		2.00	101
Total car spaces required	113	Bike Racks	27.9								Total 101

APARTMENT TOWERS AREA SCHEDULE			
Number of Apt's	93		
1 beds	35		
2 Beds	57		
3 Beds	1		
Car parking spaces	119		
Bicycles	96		
Floor areas	16776.19	sqm	
Ground Lower	2240.40	sqm	
Ground Upper	2457.69	sqm	
1st Floor	93.44%	2236.47	sqm
2nd Floor	73.20%	1799.07	sqm
3rd Floor	52.78%	1297.14	sqm
4th Floor	52.78%	1297.14	sqm
5th Floor	52.78%	1297.14	sqm
6th Floor	85.77%	2107.92	sqm
7th Floor	42.54%	1045.56	sqm
8th Floor	38.15%	937.66	sqm

TERRACE UNITS AREA SCHEDULE			
Number of Units	30		
Car Parking - Visitors	7	spaces	
Bicycles	-		
Types	Total Number	6844.14	sqm
Type A1	1	215.20	sqm
Type A2	5	1152.00	sqm
Type A3	2	425.00	sqm
Type A4	1	227.22	sqm
Type B1	4	931.44	sqm
Type B2	5	971.50	sqm
Type B3	1	227.32	sqm
Type B4	1	208.17	sqm
Type B5	1	249.55	sqm
Type C1	1	256.20	sqm
Type C2	3	807.90	sqm
Type C3	1	244.00	sqm
Type C4	2	493.92	sqm
Type C5	1	206.82	sqm
Type C6	1	227.80	sqm

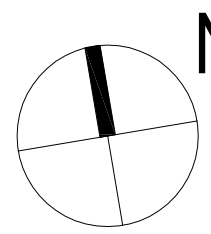
TERRACE UNITS TYPE A AREA SCHEDULE			
Unit Type	Area	Total	215 sqm
Type A1	Ground Flr	98.90	Floor area
	First Flr	76.90	Floor area
	Garage	39.40	
	Rear Courtyard	105.00	Open spaces
	Open Space	16.00	
Unit Type	Area	Total	231 sqm
Type A2	Ground Flr	107.50	Floor area
	First Flr	67.00	Floor area
	Garage	36.00	
	Rear Courtyard	87.00	Open spaces
	Open Space	16.20	
Unit Type	Area	Total	213 sqm
Type A3	Ground Flr	97.80	Floor area
	First Flr	175.30	Floor area
	Garage	77.50	
	Rear Courtyard	37.20	Open spaces
	Open Space	140.00	Open spaces
Unit Type	Area	Total	227 sqm
Type A4	Ground Flr	99.00	Floor area
	First Flr	92.22	Floor area
	Garage	36.00	
	Rear Courtyard	99.00	Open spaces
	Open Space	34.00	

TERRACE UNITS TYPE B AREA SCHEDULE			
Unit Type	Area	Total	233 sqm
Type B1	Ground Flr	53.50	Floor area
	First Flr	82.00	Floor area
	Second Flr	55.80	
	Garage	36.50	
	Terrace	14.00	
	Rear Courtyard	56.00	Open spaces
	Open Space	9.60	
Unit Type	Area	Total	194 sqm
Type B2	Ground Flr	75.70	Floor area
	First Flr	76.80	Floor area
	Garage	42.00	
	Rear Courtyard	62.00	Open spaces
	Open Space	9.00	
Unit Type	Area	Total	227 sqm
Type B3	Ground Flr	114.50	Floor area
	First Flr	68.52	Floor area
	Garage	44.30	
	Rear Courtyard	62.00	Open spaces
	Open Space	42.00	
Unit Type	Area	Total	208 sqm
Type B4	Ground Flr	98.57	Floor area
	First Flr	68.60	Floor area
	Garage	40.00	
	Rear Courtyard	89.75	Open spaces
	Open Space	25.00	
Unit Type	Area	Total	250 sqm
Type B5	Ground Flr	113.95	Floor area
	First Flr	92.00	Floor area
	Garage	43.80	
	Rear Courtyard	60.00	Open spaces
	Open Space	60.00	

TERRACE UNITS TYPE C AREA SCHEDULE			
Unit Type	Area	Total	256 sqm
Type C1	Ground Flr	45.80	Floor area
	First Flr	81.70	Floor area
	Second Flr	79.20	
	Garage	49.70	
	Terrace	35.00	
	Front Courtyard	11.50	Open spaces
	Open Space	0.00	
Unit Type	Area	Total	269 sqm
Type C2	Ground Flr	52.70	Floor area
	First Flr	87.50	Floor area
	Second Flr	79.50	
	Garage	49.80	
	Terrace	35.40	
	Front Courtyard	18.80	Open spaces
	Open Space	0.00	
Unit Type	Area	Total	244 sqm
Type C3	Ground Flr	23.00	Floor area
	First Flr	82.50	Floor area
	Second Flr	84.00	
	Garage	44.50	
	Terrace	35.00	
	Front Courtyard	19.00	Open spaces
	Open Space	0.00	
Unit Type	Area	Total	247 sqm
Type C4	Ground Flr	15.48	Floor area
	First Flr	98.85	Floor area
	Second Flr	79.00	
	Garage	53.63	
	Terrace	35.40	
	Front Courtyard	17.50	Open spaces
	Open Space	0.00	
Unit Type	Area	Total	297 sqm
Type C5	Ground Flr	78.30	Floor area
	First Flr	29.40	Floor area
	Second Flr	55.22	
	Garage	44.70	
	Terrace	29.20	
	Front Courtyard	12.00	Open spaces
	Open Space	41.20	
Unit Type	Area	Total	228 sqm
Type C6	Ground Flr	47.30	Floor area
	First Flr	81.30	Floor area
	Second Flr	53.00	
	Garage	47.00	
	Terrace	13.10	
	Front Courtyard	10.00	Open spaces
	Open Space	45.80	

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	
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PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 9 of 40  
Date: 23/04/19

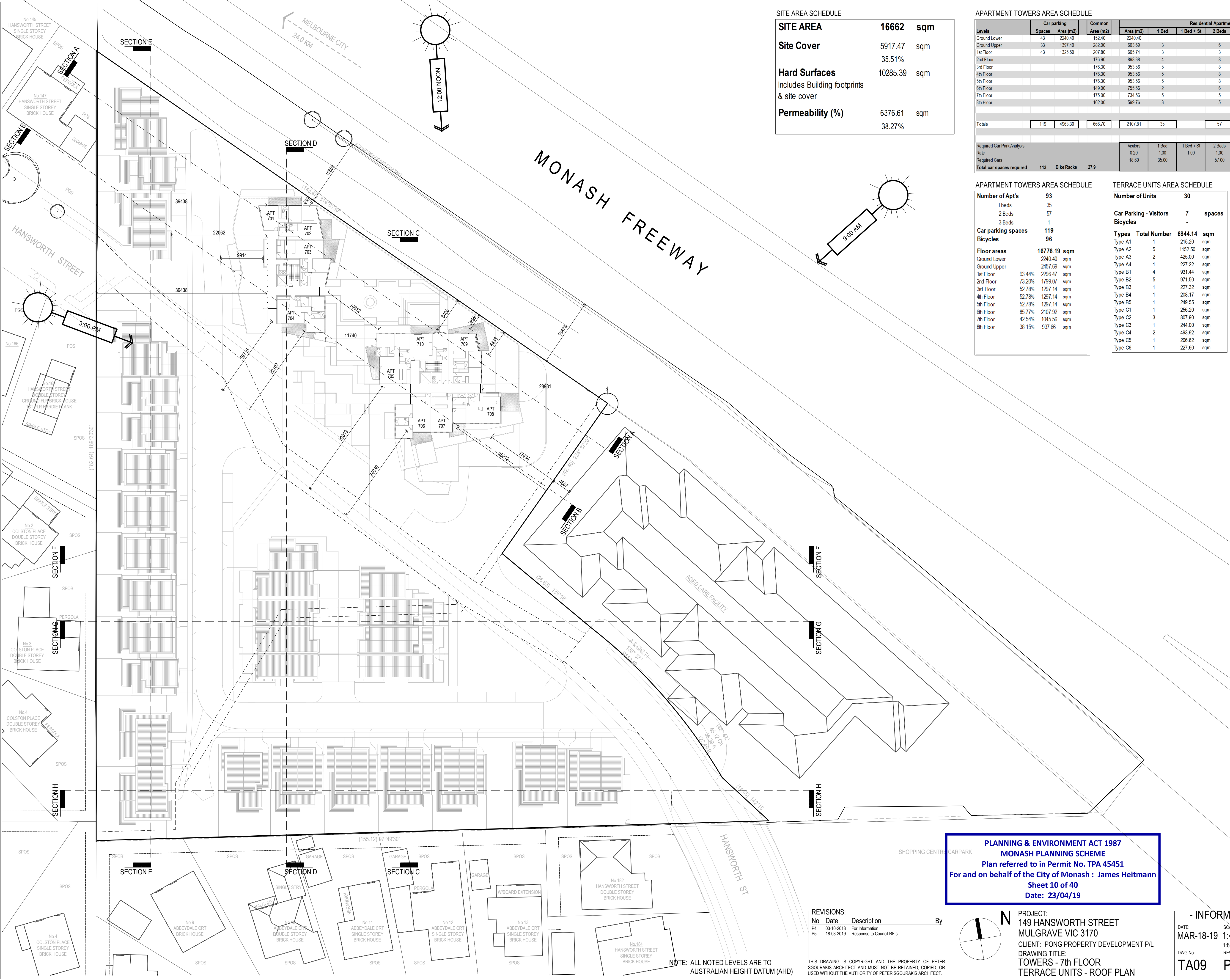


PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWERS - 6th FLOOR  
TERRACE UNITS - ROOF PLAN

- INFORMATION -  
DATE: MAR-18-19  
SCALE: 1:400 @ A1  
1:800 @ A3  
DWG No: TA08a  
P5  
MAR 18 2019

SGOURAKIS  
ARCHITECTS  
2/40 COLSTON PLACE  
T: 03 9551 9884  
INFO@SGOURAKISARCHITECTS.COM





SITE AREA SCHEDULE		
<b>SITE AREA</b>	<b>16662</b>	<b>sqm</b>
<b>Site Cover</b>	5917.47	sqm
	35.51%	
<b>Hard Surfaces</b>	10285.39	sqm
Includes Building footprints & site cover		
<b>Permeability (%)</b>	6376.61	sqm
	38.27%	

APARTMENT TOWERS AREA SCHEDULE													
Levels	Car parking		Common Area (m2)	Residential Apartment Towers							Terraces Area (m2)	Area per level	
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total		NFA (m2)	GFA (m2)
Ground Lower	43	2240.40	152.40	2240.40									2240.40
Ground Upper	33	1397.40	282.00	603.69	3		6		0	9	174.60		2457.69
1st Floor	43	1325.50	207.80	605.74	3		3		0	6	97.43		2296.47
2nd Floor			176.90	898.38	4		8		0	12	379.79		1799.07
3rd Floor			176.30	953.56	5		8		0	13	167.28		1297.14
4th Floor			176.30	953.56	5		8		0	13	167.28		1297.14
5th Floor			176.30	953.56	5		8		0	13	167.28		1297.14
6th Floor			149.00	755.56	2		6		1	9	223.90		2107.92
7th Floor			175.00	734.56	5		5		0	10	136.00		1045.56
8th Floor			162.00	599.76	3		5		0	8	175.90		937.66

APARTMENT TOWERS AREA SCHEDULE		
<b>Number of Apt's</b>	<b>93</b>	
1 beds	35	
2 Beds	57	
3 Beds	1	
<b>Car parking spaces</b>	<b>119</b>	
<b>Bicycles</b>	<b>96</b>	
<b>Floor areas</b>	<b>16776.19 sqm</b>	
Ground Lower	2240.40 sqm	
Ground Upper	2457.69 sqm	
1st Floor	93.44% 2236.47 sqm	
2nd Floor	73.20% 1799.07 sqm	
3rd Floor	52.78% 1297.14 sqm	
4th Floor	52.78% 1297.14 sqm	
5th Floor	52.78% 1297.14 sqm	
6th Floor	85.77% 2107.92 sqm	
7th Floor	42.54% 1045.56 sqm	
8th Floor	38.15% 937.66 sqm	

TERRACE UNITS AREA SCHEDULE		
<b>Number of Units</b>	<b>30</b>	
<b>Car Parking - Visitors</b>	<b>7</b>	<b>spaces</b>
<b>Bicycles</b>	<b>-</b>	
<b>Types</b>	<b>Total Number</b>	<b>6844.14 sqm</b>
Type A1	1	215.20 sqm
Type A2	5	1152.00 sqm
Type A3	2	425.00 sqm
Type A4	1	227.22 sqm
Type B1	4	931.44 sqm
Type B2	5	971.50 sqm
Type B3	1	227.32 sqm
Type B4	1	208.17 sqm
Type B5	1	249.55 sqm
Type C1	1	256.20 sqm
Type C2	3	807.90 sqm
Type C3	1	244.00 sqm
Type C4	2	493.92 sqm
Type C5	1	206.82 sqm
Type C6	1	227.60 sqm

TERRACE UNITS TYPE A AREA SCHEDULE			
Unit Type	Area	Total	215 sqm
Type A1	Ground Flr	98.90	Floor area
	First Flr	76.90	
	Garage	39.40	
	Rear Courtyard	105.00	Open spaces
Type A2	Ground Flr	107.50	Floor area
	First Flr	67.00	
	Garage	36.00	
	Rear Courtyard	87.00	Open spaces
Type A3	Ground Flr	107.50	Floor area
	First Flr	67.00	
	Garage	36.00	
	Rear Courtyard	87.00	Open spaces
Type A4	Ground Flr	99.00	Floor area
	First Flr	77.50	
	Garage	37.20	
	Rear Courtyard	105.00	Open spaces
Type A5	Ground Flr	99.00	Floor area
	First Flr	77.50	
	Garage	37.20	
	Rear Courtyard	105.00	Open spaces
Type A6	Ground Flr	99.00	Floor area
	First Flr	77.50	
	Garage	37.20	
	Rear Courtyard	105.00	Open spaces

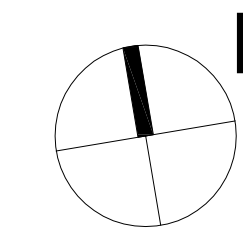
TERRACE UNITS TYPE B AREA SCHEDULE			
Unit Type	Area	Total	233 sqm
Type B1	Ground Flr	53.50	Floor area
	First Flr	82.00	
	Second Flr	55.80	
	Garage	36.50	
Type B2	Ground Flr	53.50	Floor area
	First Flr	82.00	
	Second Flr	55.80	
	Garage	36.50	
Type B3	Ground Flr	53.50	Floor area
	First Flr	82.00	
	Second Flr	55.80	
	Garage	36.50	
Type B4	Ground Flr	53.50	Floor area
	First Flr	82.00	
	Second Flr	55.80	
	Garage	36.50	
Type B5	Ground Flr	53.50	Floor area
	First Flr	82.00	
	Second Flr	55.80	
	Garage	36.50	
Type B6	Ground Flr	53.50	Floor area
	First Flr	82.00	
	Second Flr	55.80	
	Garage	36.50	

TERRACE UNITS TYPE C AREA SCHEDULE			
Unit Type	Area	Total	256 sqm
Type C1	Ground Flr	45.80	Floor area
	First Flr	81.70	
	Second Flr	79.20	
	Garage	49.70	
Type C2	Ground Flr	45.80	Floor area
	First Flr	81.70	
	Second Flr	79.20	
	Garage	49.70	
Type C3	Ground Flr	45.80	Floor area
	First Flr	81.70	
	Second Flr	79.20	
	Garage	49.70	
Type C4	Ground Flr	45.80	Floor area
	First Flr	81.70	
	Second Flr	79.20	
	Garage	49.70	
Type C5	Ground Flr	45.80	Floor area
	First Flr	81.70	
	Second Flr	79.20	
	Garage	49.70	
Type C6	Ground Flr	45.80	Floor area
	First Flr	81.70	
	Second Flr	79.20	
	Garage	49.70	

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 10 of 40  
Date: 23/04/19

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

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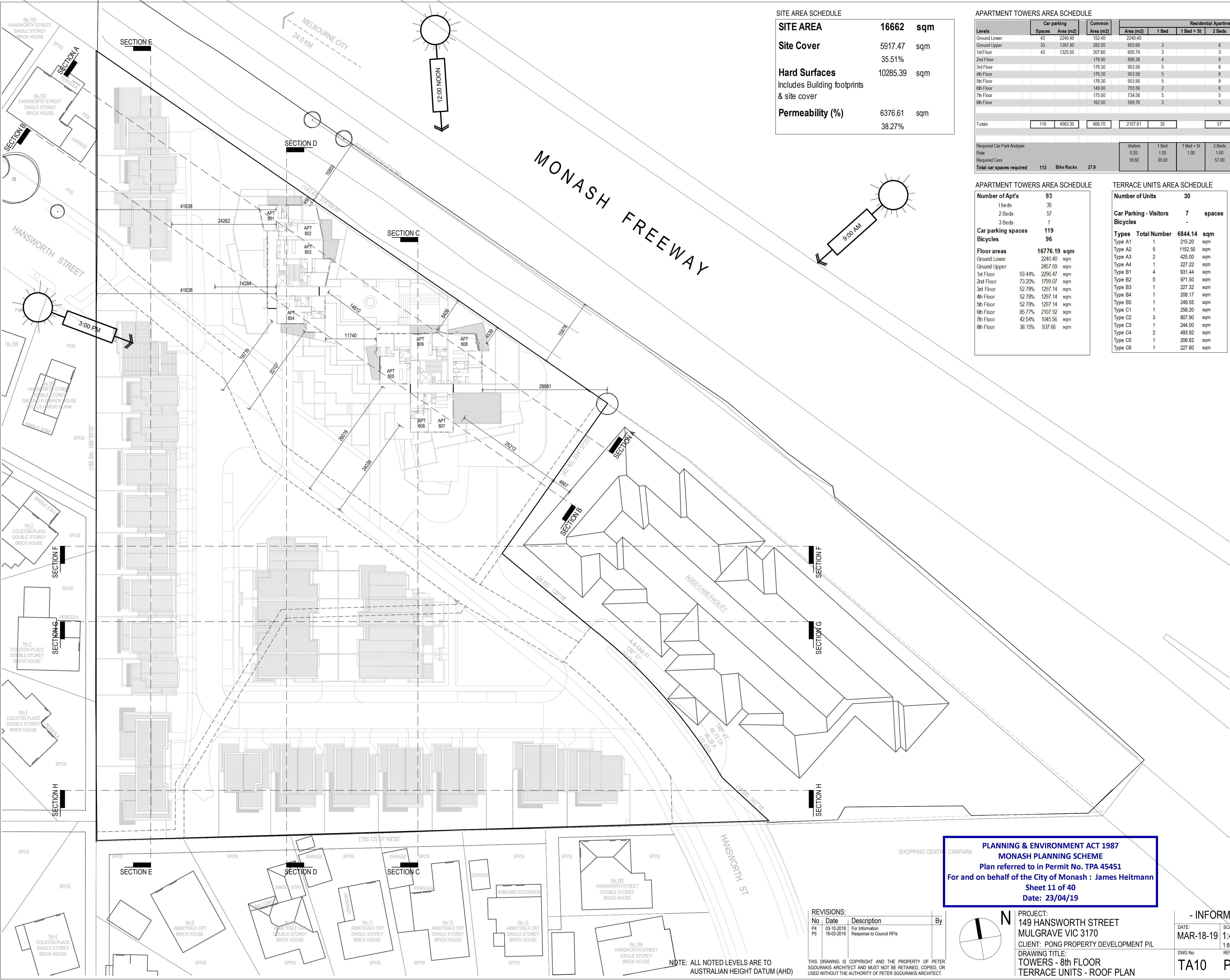


PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWERS - 7th FLOOR  
TERRACE UNITS - ROOF PLAN

- INFORMATION -  
DATE: MAR-18-19  
SCALE: 1:400 @ A1  
1:800 @ A3  
DWG No: TA09  
REV: P5  
MAR 18 2019

SGOURAKIS  
ARCHITECTS  
2/40 COLSTON PLACE, MULGRAVE VIC 3170  
T: 03 9591 9984  
INFO@SGOURAKISARCHITECTS.COM





SITE AREA SCHEDULE			
SITE AREA		16662	sqm
Site Cover		5917.47	sqm
		35.51%	
Hard Surfaces		10285.39	sqm
Includes Building footprints & site cover			
Permeability (%)		6376.61	sqm
		38.27%	

APARTMENT TOWERS AREA SCHEDULE													
Levels	Car parking		Common Area (m2)	Residential Apartment Towers							Terraces Area (m2)	Area per level	
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total		NFA (m2)	GFA (m2)
Ground Lower	43	2240.40	152.40	2240.40								2240.40	
Ground Upper	33	1397.40	282.00	603.69	3		6		0	9	174.60	2457.69	
1st Floor	43	1325.50	207.80	605.74	3		3		0	6	97.43	2296.47	
2nd Floor			176.90	898.38	4		8		0	12	379.79	1789.07	
3rd Floor			176.30	953.56	5		8		0	13	167.28	1287.14	
4th Floor			176.30	953.56	5		8		0	13	167.28	1297.14	
5th Floor			176.30	953.56	5		8		0	13	167.28	1297.14	
6th Floor			149.00	755.56	2		6		1	9	223.90	2107.92	
7th Floor			175.00	734.56	5		5		0	10	136.00	1045.56	
8th Floor			162.00	599.76	3		5		0	8	175.90	937.66	
Totals	119	4963.30	666.70	2107.81	35		57		1	93		16776.19	
Required Car Park Analysis				Visitors	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds		Store		
Rate				0.20	1.00	1.00	1.00	1.00	2.00		6m3	101	
Required Cars				18.60	35.00		57.00		2.00		3m3		
Total car spaces required				113	Bike Racks	27.9					Total	101	

APARTMENT TOWERS AREA SCHEDULE

TERRACE UNITS AREA SCHEDULE

TERRACE UNITS TYPE A AREA SCHEDULE

Unit Type	Area	Total	215	sqm
Type A1	Ground Flr	98.90	115.80	Floor area
	First Flr	76.90		
	Garage	36.40		
	Rear Courtyard	105.00	121.00	Open spaces
Type A2	Ground Flr	107.50	194.50	Floor area
	First Flr	67.00		
	Garage	36.00		
	Rear Courtyard	87.00	103.20	Open spaces
Type A3	Ground Flr	107.50	175.30	Floor area
	First Flr	77.50		
	Garage	37.20		
	Rear Courtyard	140.00	151.00	Open spaces
Type A4	Ground Flr	99.00	111.22	Floor area
	First Flr	92.22		
	Garage	36.00		
	Rear Courtyard	99.00	133.00	Open spaces

TERRACE UNITS TYPE B AREA SCHEDULE

Unit Type	Area	Total	233	sqm
Type B1	Ground Flr	53.50	156.36	Floor area
	First Flr	82.00		
	Second Flr	55.80		
	Rear Courtyard	56.00	76.60	Open spaces
Type B2	Ground Flr	75.70	152.30	Floor area
	First Flr	76.80		
	Garage	42.00		
	Rear Courtyard	62.00	71.00	Open spaces
Type B3	Ground Flr	114.50	183.02	Floor area
	First Flr	68.52		
	Garage	44.30		
	Rear Courtyard	138.00	180.00	Open spaces
Type B4	Ground Flr	98.57	168.17	Floor area
	First Flr	69.60		
	Garage	40.00		
	Rear Courtyard	89.75	114.75	Open spaces
Type B5	Ground Flr	113.95	205.95	Floor area
	First Flr	92.00		
	Garage	43.80		
	Rear Courtyard	60.00	120.00	Open spaces

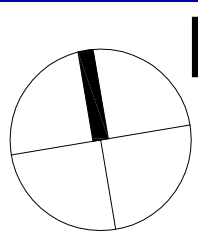
TERRACE UNITS TYPE C AREA SCHEDULE

Unit Type	Area	Total	256	sqm
Type C1	Ground Flr	45.80	206.50	Floor area
	First Flr	81.70		
	Second Flr	79.20		
	Rear Courtyard	35.00	46.50	Open spaces
Type C2	Ground Flr	52.70	219.70	Floor area
	First Flr	87.50		
	Second Flr	79.50		
	Rear Courtyard	49.80	54.20	Open spaces
Type C3	Ground Flr	23.00	199.50	Floor area
	First Flr	82.50		
	Second Flr	84.00		
	Rear Courtyard	44.50	54.00	Open spaces
Type C4	Ground Flr	15.48	183.33	Floor area
	First Flr	98.85		
	Second Flr	79.00		
	Rear Courtyard	53.63	52.90	Open spaces
Type C5	Ground Flr	47.30	180.60	Floor area
	First Flr	81.30		
	Second Flr	53.00		
	Rear Courtyard	47.00	68.90	Open spaces

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 11 of 40  
Date: 23/04/19

REVISIONS:			
No	Date	Description	By
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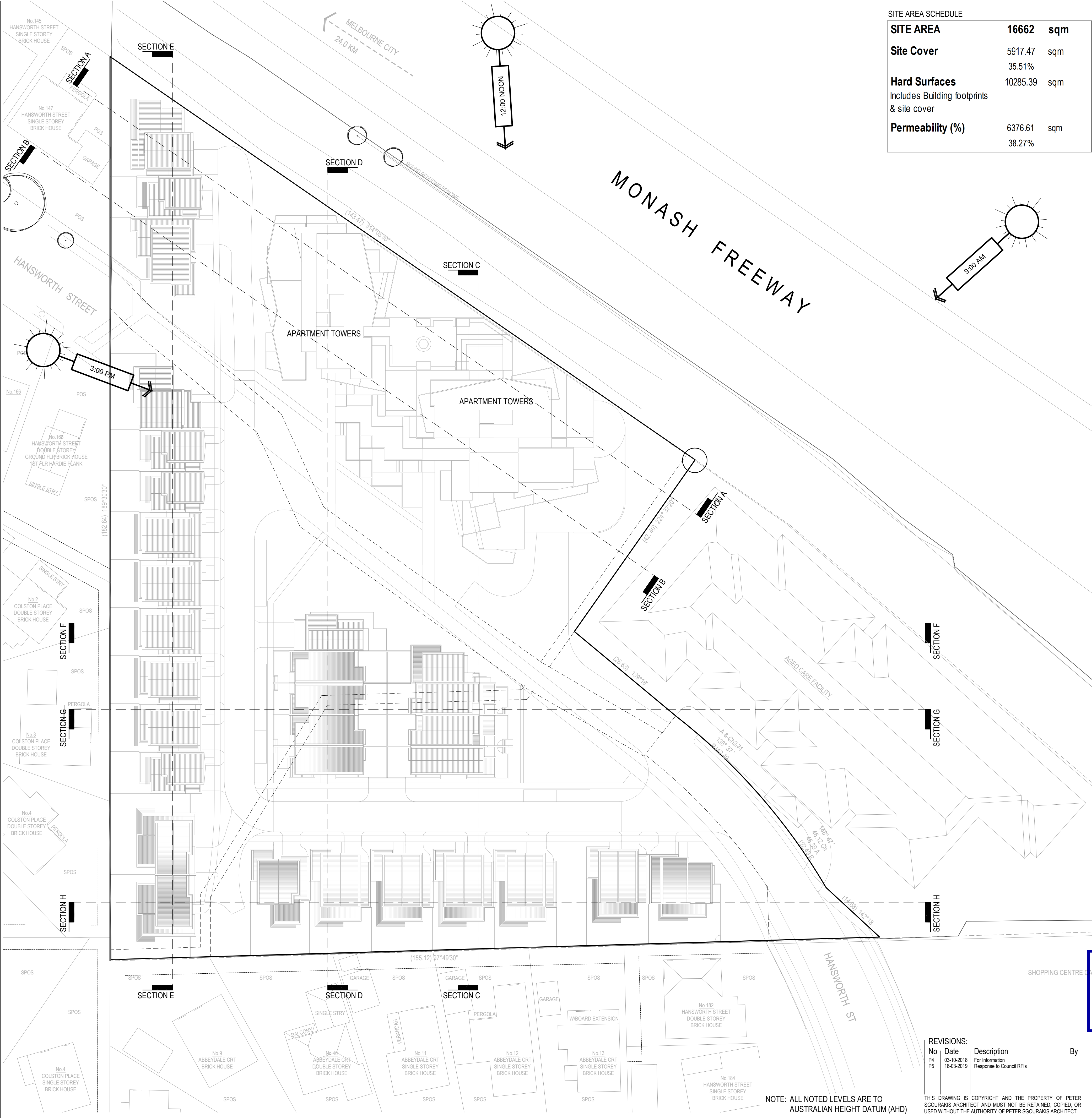
PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWERS - 8th FLOOR  
TERRACE UNITS - ROOF PLAN

- INFORMATION -

DATE:	SCALE:
MAR-18-19	1:400 @ A1
DWG No:	REV:
TA10	P5

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SITE AREA SCHEDULE		
<b>SITE AREA</b>	<b>16662</b>	<b>sqm</b>
<b>Site Cover</b>	5917.47	sqm
	35.51%	
<b>Hard Surfaces</b>	10285.39	sqm
Includes Building footprints & site cover		
<b>Permeability (%)</b>	6376.61	sqm
	38.27%	

APARTMENT TOWERS AREA SCHEDULE											Terraces		Area per level	
Levels	Car parking Spaces	Area (m2)	Common Area (m2)	Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total	Area (m2)	NFA (m2)	GFA (m2)	GFA (m2)
Ground Lower	43	2240.40	152.40	2240.40	603.69	3	6	0	9	174.60			2240.40	2240.40
Ground Upper	33	1397.40	282.00	605.74	3	3	3	0	6	97.43			2296.47	2296.47
1st Floor	43	1325.50	207.80	605.74	4	8	0	12	379.79	1799.07			2296.47	2296.47
2nd Floor			176.30	953.56	5	8	0	13	167.28	1297.14			1297.14	1297.14
3rd Floor			176.30	953.56	5	8	0	13	167.28	1297.14			1297.14	1297.14
4th Floor			176.30	953.56	5	8	0	13	167.28	1297.14			1297.14	1297.14
5th Floor			176.30	953.56	5	8	0	13	167.28	1297.14			1297.14	1297.14
6th Floor			149.00	755.56	2	6	1	9	223.90	2107.92			1045.56	1045.56
7th Floor			175.00	734.56	5	5	0	10	136.00	1045.56			937.66	937.66
8th Floor			162.00	599.76	3	5	0	8	175.90					
Totals	119	4963.30	666.70	2107.81	35	57	1	93					16776.19	

Required Car Park Analysis	Visitors	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Store
Rate	0.20	1.00	1.00	1.00	1.00	2.00	6m3
Required Cars	18.60	35.00		57.00		2.00	3m3
Total car spaces required	113	Bike Racks	27.9				Total
							101

APARTMENT TOWERS AREA SCHEDULE		
<b>Number of Apt's</b>	<b>93</b>	
1 beds	35	
2 Beds	57	
3 Beds	1	
<b>Car parking spaces</b>	<b>119</b>	
<b>Bicycles</b>	<b>96</b>	
<b>Floor areas</b>	<b>16776.19 sqm</b>	
Ground Lower	2240.40 sqm	
Ground Upper	2457.69 sqm	
1st Floor	93.44% 2236.47 sqm	
2nd Floor	73.20% 1799.07 sqm	
3rd Floor	52.78% 1297.14 sqm	
4th Floor	52.78% 1297.14 sqm	
5th Floor	52.78% 1297.14 sqm	
6th Floor	35.77% 2107.92 sqm	
7th Floor	42.54% 1045.56 sqm	
8th Floor	38.15% 937.66 sqm	

TERRACE UNITS AREA SCHEDULE		
<b>Number of Units</b>	<b>30</b>	
<b>Car Parking - Visitors</b>	<b>7</b>	<b>spaces</b>
<b>Bicycles</b>	<b>-</b>	
<b>Types</b>	<b>Total Number</b>	<b>6844.14 sqm</b>
Type A1	1	215.20 sqm
Type A2	5	1152.50 sqm
Type A3	2	425.00 sqm
Type A4	1	227.22 sqm
Type B1	4	931.44 sqm
Type B2	5	971.50 sqm
Type B3	1	227.32 sqm
Type B4	1	208.17 sqm
Type B5	1	249.55 sqm
Type C1	1	256.20 sqm
Type C2	3	807.90 sqm
Type C3	1	244.00 sqm
Type C4	2	493.92 sqm
Type C5	1	206.82 sqm
Type C6	1	227.60 sqm

TERRACE UNITS TYPE A AREA SCHEDULE		
<b>Unit Type</b>	<b>Area</b>	<b>Total</b>
Type A1	215.20	215.20
Ground Flr	215.20	215.20
First Flr	76.90	76.90
Garage	39.40	39.40
Rear Courtyard	105.00	105.00
Open Space	16.00	16.00
Type A2	231	231
Ground Flr	107.50	107.50
First Flr	67.00	67.00
Garage	36.00	36.00
Rear Courtyard	87.00	87.00
Open Space	16.20	16.20
Type A3	213	213
Ground Flr	97.80	97.80
First Flr	77.50	77.50
Garage	37.20	37.20
Rear Courtyard	140.00	140.00
Open Space	11.00	11.00
Type A4	227	227
Ground Flr	99.00	99.00
First Flr	92.22	92.22
Garage	36.00	36.00
Rear Courtyard	99.00	99.00
Open Space	34.00	34.00

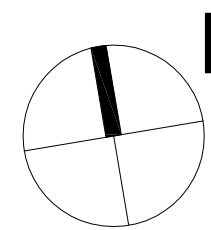
TERRACE UNITS TYPE B AREA SCHEDULE		
<b>Unit Type</b>	<b>Area</b>	<b>Total</b>
Type B1	233	233
Ground Flr	53.50	53.50
First Flr	82.00	82.00
Second Flr	55.80	55.80
Garage	36.50	36.50
Terrace	14.00	14.00
Rear Courtyard	56.00	56.00
Open Space	9.60	9.60
Type B2	194	194
Ground Flr	75.70	75.70
First Flr	76.80	76.80
Garage	42.00	42.00
Rear Courtyard	62.00	62.00
Open Space	9.00	9.00
Type B3	227	227
Ground Flr	114.50	114.50
First Flr	68.52	68.52
Garage	44.30	44.30
Rear Courtyard	138.00	138.00
Open Space	42.00	42.00
Type B4	208	208
Ground Flr	98.57	98.57
First Flr	69.60	69.60
Garage	40.00	40.00
Rear Courtyard	89.75	89.75
Open Space	25.00	25.00
Type B5	250	250
Ground Flr	113.95	113.95
First Flr	92.00	92.00
Garage	43.80	43.80
Rear Courtyard	60.00	60.00
Open Space	60.00	60.00

TERRACE UNITS TYPE C AREA SCHEDULE		
<b>Unit Type</b>	<b>Area</b>	<b>Total</b>
Type C1	256	256
Ground Flr	45.80	45.80
First Flr	81.70	81.70
Second Flr	79.20	79.20
Garage	49.70	49.70
Terrace	35.00	35.00
Front Courtyard	11.50	11.50
Open Space	0.00	0.00
Type C2	269	269
Ground Flr	52.70	52.70
First Flr	87.50	87.50
Second Flr	79.50	79.50
Garage	49.80	49.80
Terrace	35.40	35.40
Front Courtyard	18.80	18.80
Open Space	0.00	0.00
Type C3	244	244
Ground Flr	23.00	23.00
First Flr	82.50	82.50
Second Flr	84.00	84.00
Garage	44.50	44.50
Terrace	35.00	35.00
Front Courtyard	19.00	19.00
Open Space	0.00	0.00
Type C4	247	247
Ground Flr	15.48	15.48
First Flr	98.85	98.85
Second Flr	79.00	79.00
Garage	53.63	53.63
Terrace	35.40	35.40
Front Courtyard	17.50	17.50
Open Space	0.00	0.00
Type C5	297	297
Ground Flr	23.00	23.00
First Flr	78.30	78.30
Second Flr	55.22	55.22
Garage	44.70	44.70
Terrace	29.20	29.20
Front Courtyard	12.00	12.00
Open Space	0.00	0.00
Type C6	228	228
Ground Flr	47.30	47.30
First Flr	81.30	81.30
Second Flr	52.00	52.00
Garage	47.00	47.00
Terrace	13.10	13.10
Front Courtyard	10.00	10.00
Open Space	45.80	45.80

**PLANNING & ENVIRONMENT ACT 1987**  
**MONASH PLANNING SCHEME**  
**Plan referred to in Permit No. TPA 45451**  
**For and on behalf of the City of Monash : James Heitmann**  
**Sheet 12 of 40**  
**Date: 23/04/19**

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No	Date	Description	By
P4	03-10-2018	For information	
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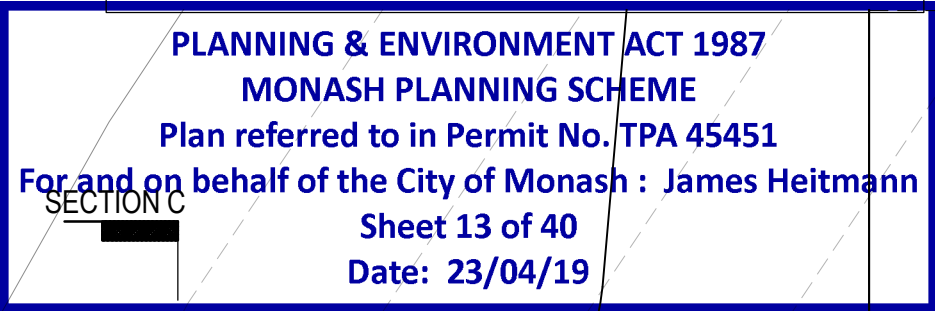
**PROJECT:**  
**149 HANSWORTH STREET**  
**MULGRAVE VIC 3170**  
**CLIENT: PONG PROPERTY DEVELOPMENT P/L**  
**DRAWING TITLE:**  
**TOWERS - ROOF PLAN**  
**TERRACE UNITS - ROOF PLAN**

**- INFORMATION -**  
**DATE:**  
**MAR-18-19**  
**SCALE:**  
**1:400 @ A1**  
**1:800 @ A3**  
**REV:**  
**TA11**  
**P5**  
**MAR 18 2019**

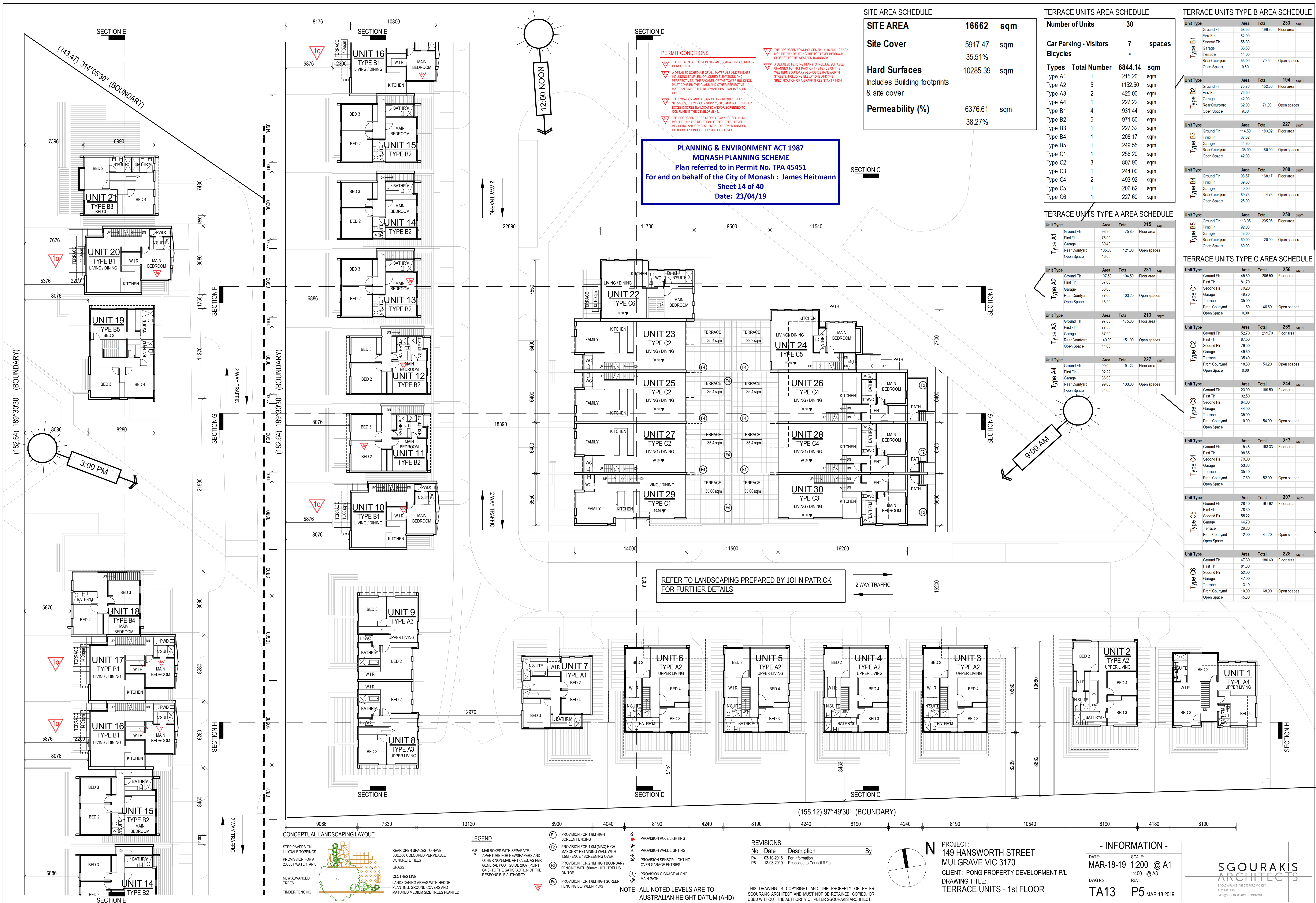
**SGOURAKIS**  
**ARCHITECTS**  
2/40 GLENVIEW RD, MULGRAVE VIC 3170  
T: 03 9551 9884  
INFO@SGOURAKISARCHITECTS.COM

NOTE: ALL NOTED LEVELS ARE TO  
AUSTRALIAN HEIGHT DATUM (AHD)

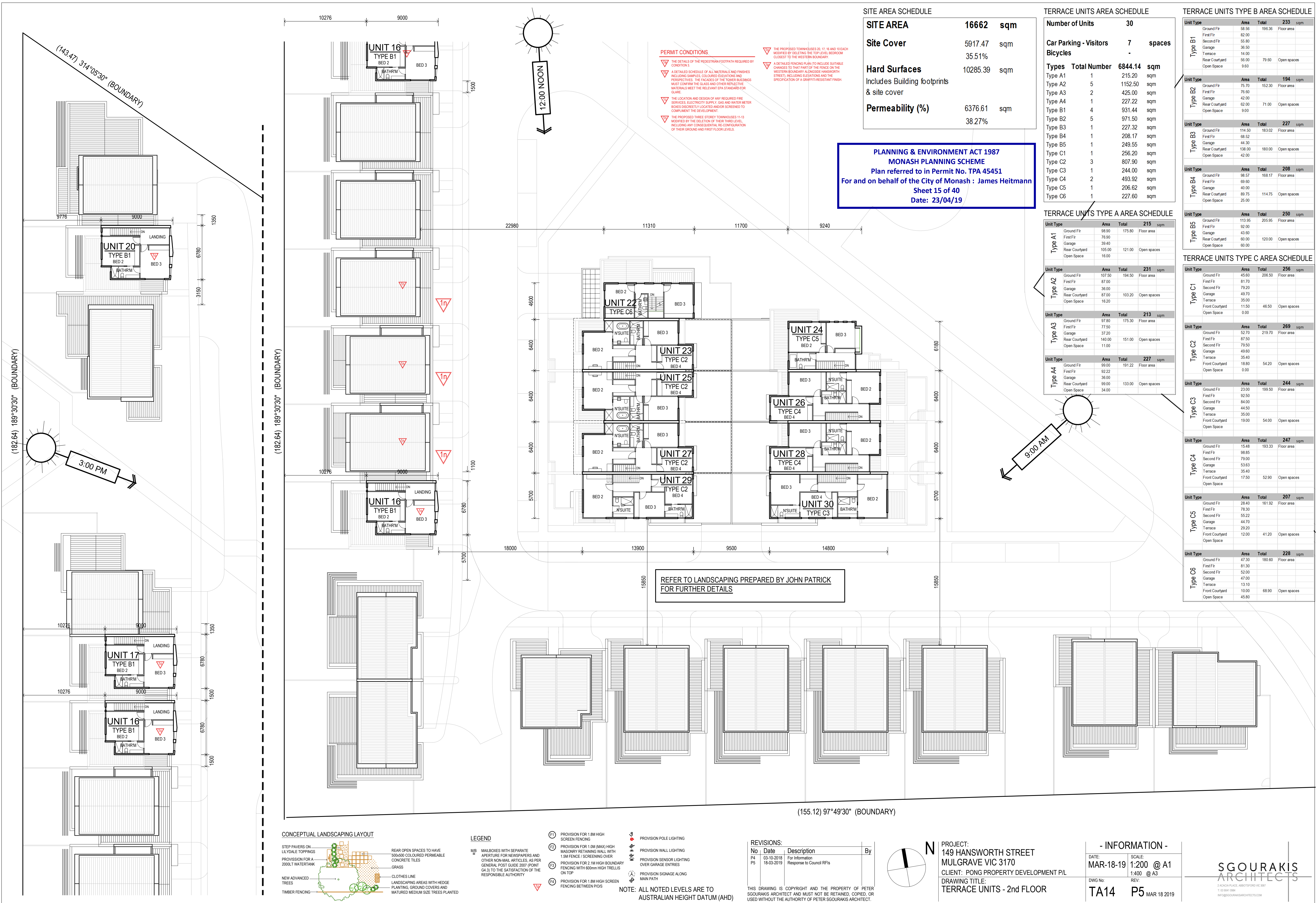




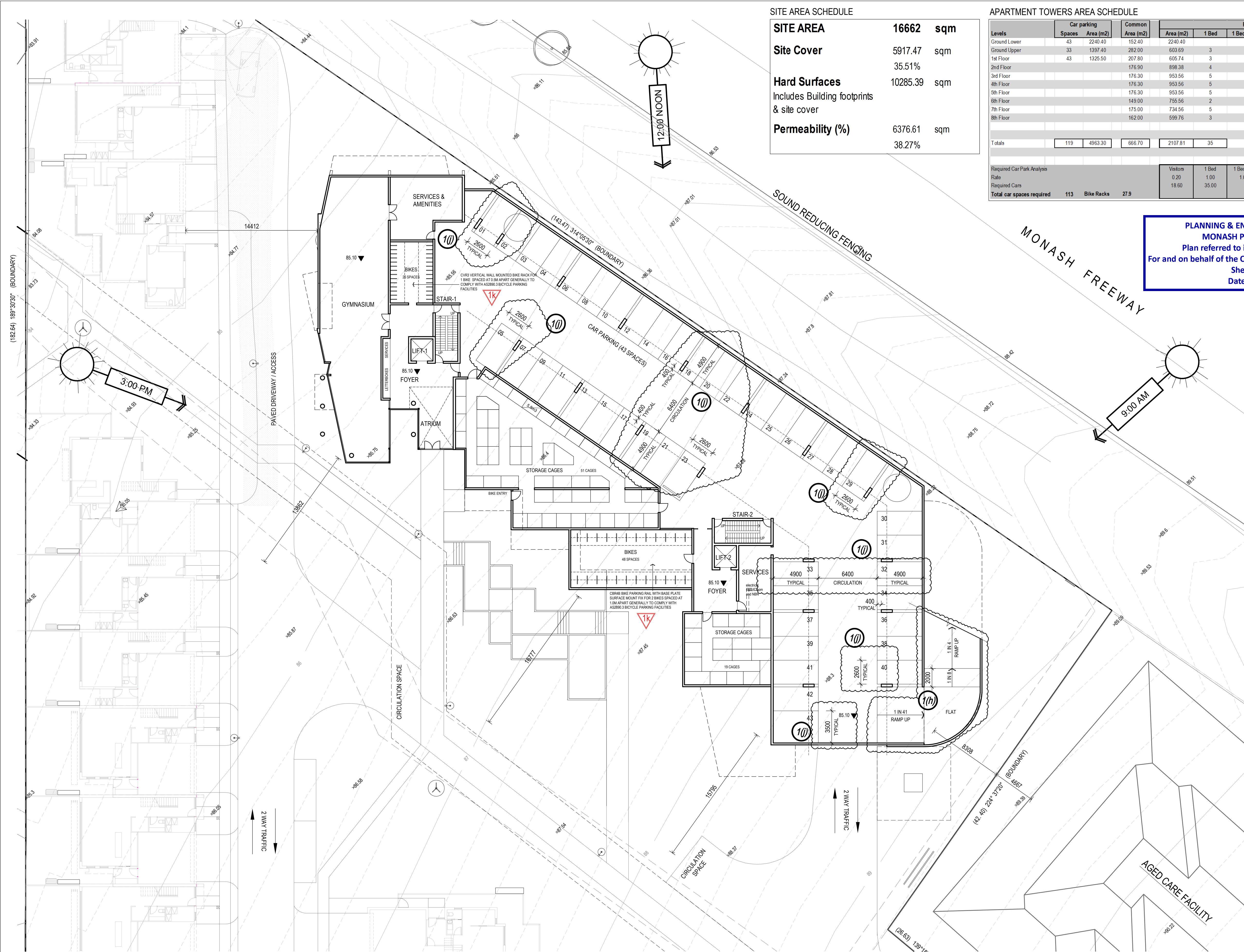












SITE AREA SCHEDULE		
<b>SITE AREA</b>	<b>16662</b>	<b>sqm</b>
<b>Site Cover</b>	5917.47	sqm
	35.51%	
<b>Hard Surfaces</b>	10285.39	sqm
Includes Building footprints & site cover		
<b>Permeability (%)</b>	6376.61	sqm
	38.27%	

APARTMENT TOWERS AREA SCHEDULE													
Levels	Car parking		Common Area (m2)	Residential Apartment Towers							Terraces Area (m2)	Area per level	
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total		NFA (m2)	GFA (m2)
Ground Lower	43	2240.40	152.40	2240.40								2240.40	
Ground Upper	33	1397.40	282.00	603.69	3		6		0	9	174.60	2457.69	
1st Floor	43	1325.50	207.80	605.74	3		3		0	6	97.43	2296.47	
2nd Floor			176.90	898.38	4		8		0	12	379.79	1799.07	
3rd Floor			176.30	953.56	5		8		0	13	167.28	1297.14	
4th Floor			176.30	953.56	5		8		0	13	167.28	1297.14	
5th Floor			176.30	953.56	5		8		0	13	167.28	1297.14	
6th Floor			149.00	755.56	2		6		1	9	223.90	2107.92	
7th Floor			175.00	734.56	5		5		0	10	136.00	1045.56	
8th Floor			162.00	599.76	3		5		0	8	175.90	937.66	
Totals	119	4963.30	666.70	2107.81	35		57		1	93		16776.19	
Required Car Park Analysis				Visitors	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds		Store		
Rate				0.20	1.00	1.00	1.00	1.00	2.00		6m3	101	
Required Cars				18.60	35.00		57.00		2.00		3m3		
Total car spaces required				113	Bike Racks	27.9					Total	101	

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 16 of 40  
Date: 23/04/19

APARTMENT TOWERS AREA SCHEDULE	
<b>Number of Apt's</b>	<b>93</b>
1 beds	35
2 Beds	57
3 Beds	1
<b>Car parking spaces</b>	<b>119</b>
<b>Bicycles</b>	<b>96</b>
<b>Floor areas</b>	<b>16776.19 sqm</b>
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2296.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

<b>Ground Lower</b>	<b>2240.40</b>	<b>sqm</b>
Car Spaces	43	
Visitors		
Refuses	62.00	sqm
Store / services	300.00	sqm
Bicycle	96	
Substation	135.00	sqm
Common	152.40	sqm

- 1k** DETAILS OF THE BICYCLE PARKING IN ACCORDANCE WITH THE DESIGN STANDARDS (INCLUDING SIGNAGE) REQUIRED BY CLAUSE 52.34 OF THE SCHEME.
- 1s** FULL DETAILS AS REQUIRED BY THE ENDORSED WASTE MANAGEMENT PLAN.
- 1t** FULL DETAILS INCLUDING AS TO MATERIALS AS REQUIRED BY THE ENDORSED ACOUSTIC PLAN.
- 1u** FULL DETAILS AS REQUIRED BY THE ENDORSED WIND ASSESSMENT REPORT.

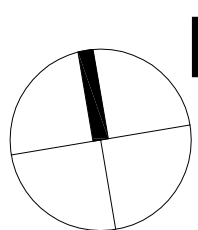
- WIND SCREENING TYPE**
  - (WS 01) FULL HEIGHT SCREEN (WS01): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS
  - (WS 02) 1.7M BALUSTRADE (WS02): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS
- GLAZING TYPES**
  - (A) 10.38/150/6
  - (B) 10.38/100/6
  - (C) 10.38/50/6
  - (D) 6/12/10.38
  - (E) 12.76 LAM
  - (F) 6.38 LAM
- REFER TO WIND ASSESSMENT REPORT AS PREPARED BY "MEL CONSULTANTS" FOR FURTHER DETAILS OF WIND MITIGATION STRATEGIES
- REFER TO ACOUSTIC REPORT AS PREPARED BY SLR FOR FULL DESCRIPTION OF GLAZING TYPES

REFER TO SHEETS TA12 TO TA14 FOR UNITS LAYOUT DETAILS

NOTE: ALL NOTED LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD)

REVISIONS:			
No	Date	Description	By
P4	03-10-2019	For information	
P5	18-03-2019	Response to Council RFIs	

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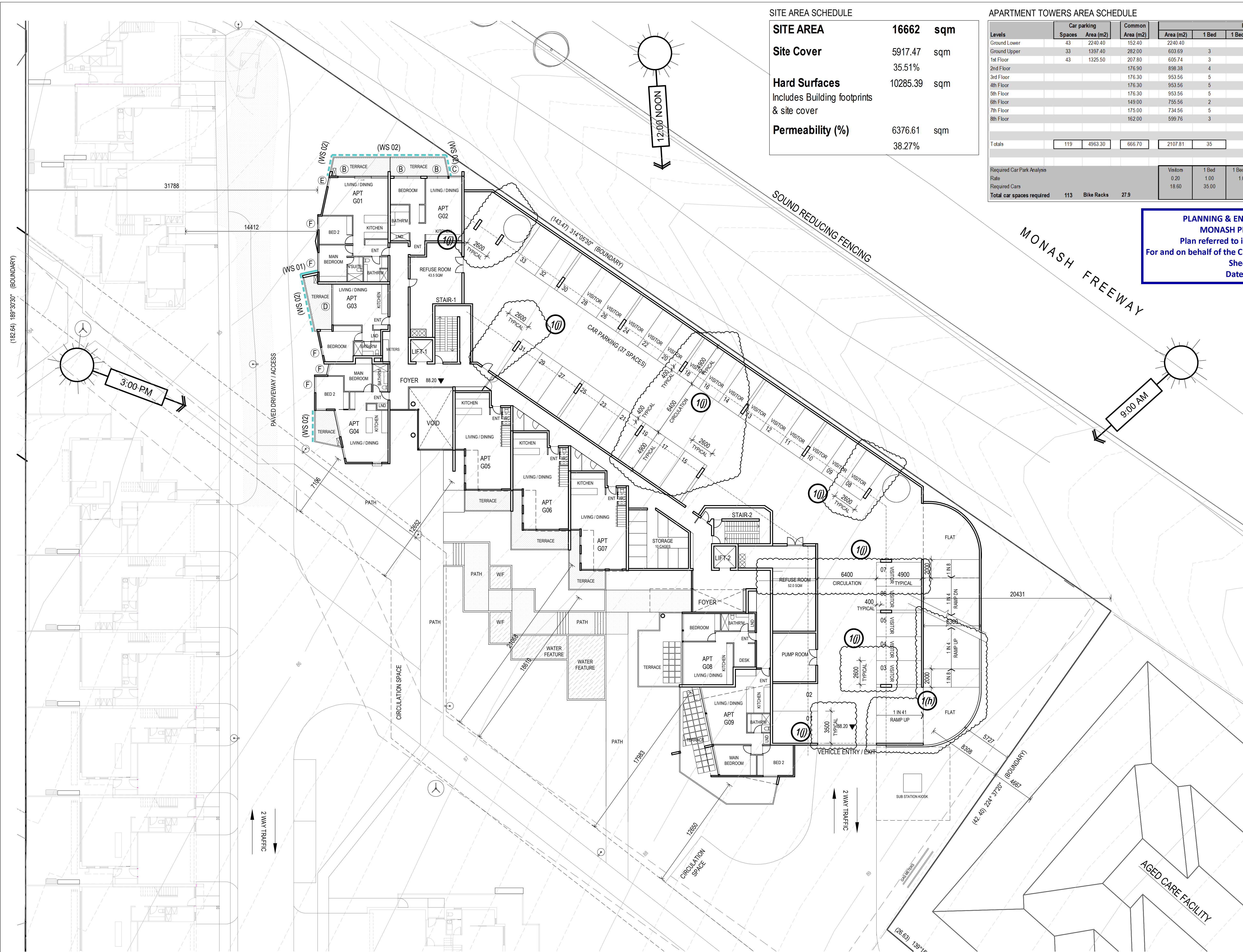


PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWER - LOWER GRND / CAR PARKING  
TERRACE UNITS - PART GROUND LEVEL

- INFORMATION -	
DATE:	SCALE:
MAR-18-19	1:200 @ A1
	1:400 @ A3
DWG No:	REV:
TA15	P5
	MAR 18 2019

SGOURAKIS  
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T: 03 9551 9984  
INFO@SGOURAKISARCHITECTS.COM





SITE AREA SCHEDULE

SITE AREA	16662	sqm
Site Cover	5917.47	sqm
	35.51%	
Hard Surfaces	10285.39	sqm
Includes Building footprints & site cover		
Permeability (%)	6376.61	sqm
	38.27%	

APARTMENT TOWERS AREA SCHEDULE

Levels	Car parking		Common Area (m2)	Residential Apartment Towers						Terraces Area (m2)	Area per level	
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds		Total	NFA (m2)
Ground Lower	43	2240.40	152.40	2240.40								2240.40
Ground Upper	33	1397.40	282.00	603.69	3		6		0	9	174.60	2457.69
1st Floor	43	1325.50	207.80	605.74	3		3		0	6	97.43	2296.47
2nd Floor			176.90	898.38	4		8		0	12	379.79	1799.07
3rd Floor			176.30	953.56	5		8		0	13	167.28	1297.14
4th Floor			176.30	953.56	5		8		0	13	167.28	1297.14
5th Floor			176.30	953.56	5		8		0	13	167.28	1297.14
6th Floor			149.00	755.56	2		6	1	9	223.90	2107.92	1045.56
7th Floor			175.00	734.56	5		5		0	10	136.00	1045.56
8th Floor			162.00	599.76	3		5		0	8	175.90	937.66

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 17 of 40  
Date: 23/04/19

APARTMENT TOWERS AREA SCHEDULE

Number of Apt's	93
1 beds	35
2 Beds	57
3 Beds	1
Car parking spaces	119
Bicycles	96
Floor areas	16776.19 sqm
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2296.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

Ground Upper		2457.69	sqm	
	Car Spaces	33		
	Services			
	Car parking area	1397.40	sqm	
	Common	282.00	sqm	
Apartments	Area	Terrace		9
Apt G01	87.38	12.64		
Apt G02	62.22	12.18		
Apt G03	54.75	13.35		
Apt G04	73.84	8.73		
Apt G05 (lower)	60.40	10.81		
Apt G06 (lower)	59.59	17.31		
Apt G07 (lower)	59.59	12.63		
Apt G08	60.00	35.00		
Apt G09	85.92	51.95		
	603.69	174.60		

- 1k DETAILS OF THE BICYCLE PARKING IN ACCORDANCE WITH THE DESIGN STANDARDS (INCLUDING SIGNAGE) REQUIRED BY CLAUSE 52.34 OF THE SCHEME.
- 1s FULL DETAILS AS REQUIRED BY THE ENDORSED WASTE MANAGEMENT PLAN.
- 1t FULL DETAILS INCLUDING AS TO MATERIALS AS REQUIRED BY THE ENDORSED ACOUSTIC PLAN.
- 1u FULL DETAILS AS REQUIRED BY THE ENDORSED WIND ASSESSMENT REPORT.

- WIND SCREENING TYPE  
FULL HEIGHT SCREEN (WS01): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS  
1.7M BALUSTRADE (WS02): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS
- GLAZING TYPES  
A 10.38/150/6  
B 10.38/100/6  
C 10.38/50/6  
D 6/12/10.38  
E 12.76 LAM  
F 6.38 LAM

REFER TO WIND ASSESSMENT REPORT AS PREPARED BY "MEL CONSULTANTS" FOR FURTHER DETAILS OF WIND MITIGATION STRATEGIES

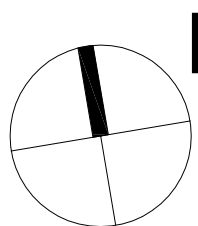
REFER TO ACOUSTIC REPORT AS PREPARED BY SLR FOR FULL DESCRIPTION OF GLAZING TYPES

REFER TO SHEETS TA12 TO TA14 FOR UNITS LAYOUT DETAILS

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

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NOTE: ALL NOTED LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD)

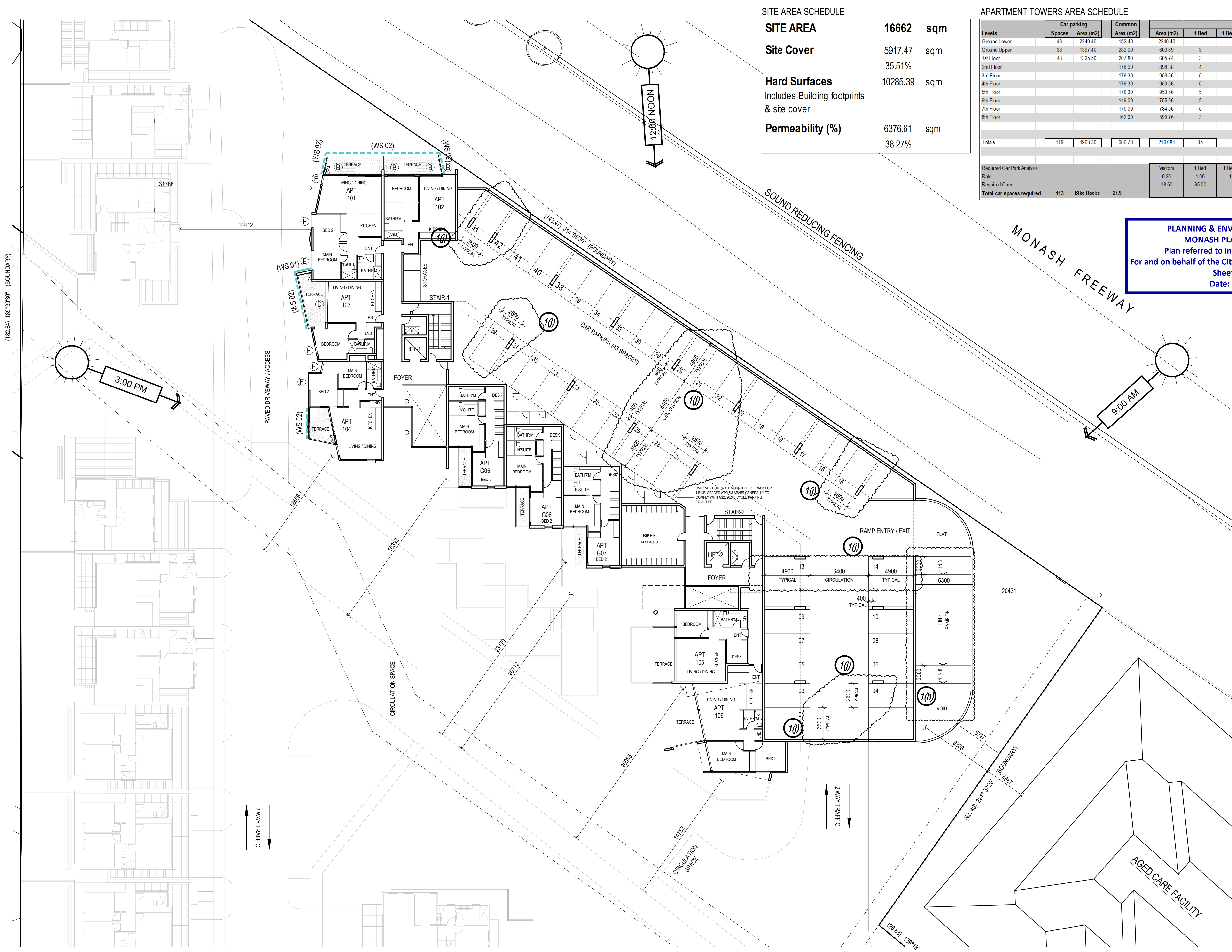


PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWER - UPPER GRND / CAR PARKING  
TERRACE UNITS - PART GROUND LEVEL

- INFORMATION -  
DATE: MAR-18-19  
SCALE: 1:200 @ A1  
1:400 @ A3  
DWG No: TA16  
P5  
MAR 18 2019

SGOURAKIS  
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INFO@SGOURAKISARCHITECTS.COM





SITE AREA SCHEDULE		
SITE AREA	16662	sqm
Site Cover	5917.47	sqm
	35.51%	
Hard Surfaces	10285.39	sqm
Includes Building footprints & site cover		
Permeability (%)	6376.61	sqm
	38.27%	

APARTMENT TOWERS AREA SCHEDULE													
Levels	Car parking		Common Area (m2)	Residential Apartment Towers							Terraces Area (m2)	Area per level	
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total		NFA (m2)	GFA (m2)
Ground Lower	43	2240.40	152.40	2240.40								2240.40	
Ground Upper	33	1397.40	282.00	603.69	3		6		0	9	174.60	2457.69	
1st Floor	43	1325.50	207.80	605.74	3		3		0	6	97.43	2296.47	
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6th Floor			149.00	755.56	2		6		1	9	223.90	2107.92	
7th Floor			175.00	734.56	5		5		0	10	136.00	1045.56	
8th Floor			162.00	599.76	3		5		0	8	175.90	937.66	
Totals													
	119	4963.30	666.70	2107.81	35		57		1	93		16776.19	
Required Car Park Analysis				Visitors	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds				
Rate				0.20	1.00	1.00	1.00	1.00	2.00	Store	6m3	101	
Required Cars				18.60	35.00		57.00		2.00		3m3		
Total car spaces required				113	Bike Racks	27.9				Total		101	

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 18 of 40  
Date: 23/04/19

APARTMENT TOWERS AREA SCHEDULE	
Number of Apt's	93
1 beds	35
2 Beds	57
3 Beds	1
Car parking spaces	119
Bicycles	96
Floor areas	16776.19 sqm
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2296.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

1st Floor		2296.47 sqm	6
Car Spaces	43		
Services	60.00	sqm	
Car parking area	1325.50	sqm	
Common	207.80	sqm	
Apartments		Area	Terrace
Apt 101	87.38	12.64	
Apt 102	62.22	12.18	
Apt 103	54.75	13.35	
Apt 104	73.84	8.73	
Apt 105	60.00	14.34	
Apt 106	85.92	18.43	
Apt G05 (upper)	60.83	5.92	
Apt G06 (upper)	59.97	5.92	
Apt G07 (upper)	60.83	5.92	
	605.74	97.43	

- 1k DETAILS OF THE BICYCLE PARKING IN ACCORDANCE WITH THE DESIGN STANDARDS (INCLUDING SIGNAGE) REQUIRED BY CLAUSE 52.34 OF THE SCHEME.
- 1s FULL DETAILS AS REQUIRED BY THE ENDORSED WASTE MANAGEMENT PLAN.
- 1t FULL DETAILS INCLUDING AS TO MATERIALS AS REQUIRED BY THE ENDORSED ACOUSTIC PLAN.
- 1u FULL DETAILS AS REQUIRED BY THE ENDORSED WIND ASSESSMENT REPORT.

WIND SCREENING TYPE		GLAZING TYPES	
(WS 01)	FULL HEIGHT SCREEN (WS01): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS	(A)	10.38/150/6
(WS 02)	1.7M BALUSTRADE (WS02): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS	(B)	10.38/100/6
		(C)	10.38/50/6
		(D)	6/12/10.38
		(E)	12.76 LAM
		(F)	6.38 LAM

REFER TO WIND ASSESSMENT REPORT AS PREPARED BY "MEL CONSULTANTS" FOR FURTHER DETAILS OF WIND MITIGATION STRATEGIES

REFER TO ACOUSTIC REPORT AS PREPARED BY SLR FOR FULL DESCRIPTION OF GLAZING TYPES

REFER TO SHEETS TA12 TO TA14 FOR UNITS LAYOUT DETAILS

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

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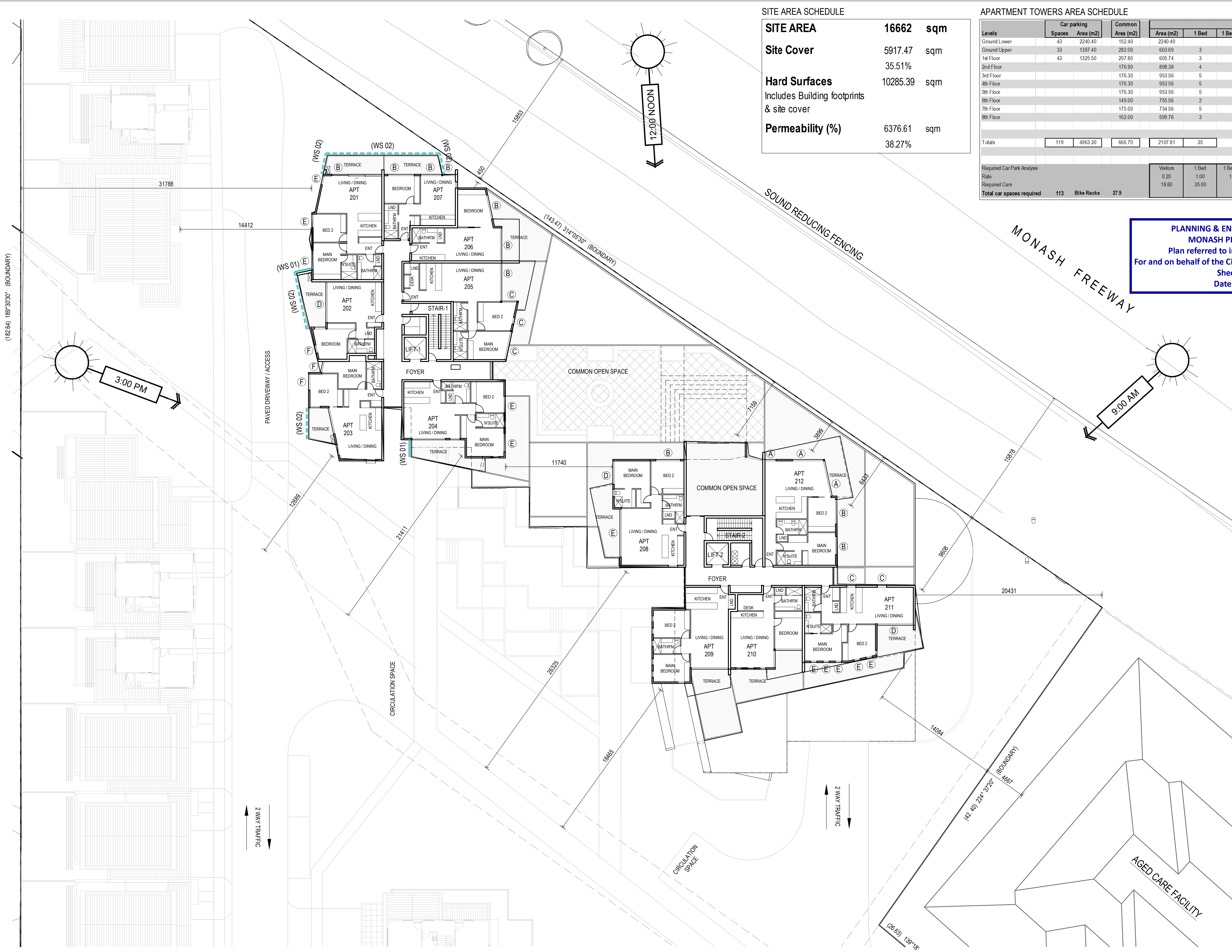
NOTE: ALL NOTED LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD)

PROJECT: 149 HANSWORTH STREET MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE: TOWER - 1st FLOOR TERRACE UNITS - PART 1st FLOOR

- INFORMATION -  
DATE: MAR-18-19  
SCALE: 1:200 @ A1  
1:400 @ A3  
DWG No: TA17  
REV: P5  
MAR 18 2019

SGOURAKIS ARCHITECTS  
2 HANCOCK PLACE, 4880TFORD VIC 3800  
T: 03 9551 9884  
INFO@SGOURAKISARCHITECTS.COM





SITE AREA SCHEDULE

<b>SITE AREA</b>	<b>16662</b>	<b>sqm</b>
<b>Site Cover</b>	<b>5917.47</b>	<b>sqm</b>
	<b>35.51%</b>	
<b>Hard Surfaces</b>	<b>10285.39</b>	<b>sqm</b>
Includes Building footprints & site cover		
<b>Permeability (%)</b>	<b>6376.61</b>	<b>sqm</b>
	<b>38.27%</b>	

APARTMENT TOWERS AREA SCHEDULE

Levels	Car parking		Common Area (m2)	Residential Apartment Towers						Terraces Area (m2)	Area per level	
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total	NFA (m2)	GFA (m2)
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4th Floor			176.30	953.56	5		8			13	167.28	1297.14
5th Floor			176.30	953.56	5		8			13	167.28	1297.14
6th Floor			149.00	755.56	2		6		1	9	223.90	2107.92
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Rate				0.20	1.00	1.00	1.00	1.00	2.00		6m3	101
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Total car spaces required				113	Bike Racks	27.9					Total	101

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 19 of 40  
Date: 23/04/19

APARTMENT TOWERS AREA SCHEDULE

<b>Number of Apt's</b>	<b>93</b>
1 beds	35
2 Beds	57
3 Beds	1
<b>Car parking spaces</b>	<b>119</b>
<b>Bicycles</b>	<b>96</b>
<b>Floor areas</b>	<b>16776.19 sqm</b>
Ground Lower	2240.40 sqm
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1st Floor	93.44% 2296.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

<b>2nd Floor</b>	<b>1799.07 sqm</b>	<b>12</b>
Com Outdoor	344.00	
Common	176.90	
<b>Apartments</b>	<b>Area</b>	<b>Terrace</b>
Apt 201	87.36	12.54
Apt 202	54.75	13.35
Apt 203	73.90	8.70
Apt 204	82.66	43.00
Apt 205	92.00	28.34
Apt 206	54.19	23.00
Apt 207	50.82	12.19
Apt 208	80.16	47.00
Apt 209	76.03	29.87
Apt 210	63.00	28.90
Apt 211	84.69	36.80
Apt 212	90.00	90.00
	888.38	379.79

- 1k DETAILS OF THE BICYCLE PARKING IN ACCORDANCE WITH THE DESIGN STANDARDS (INCLUDING SIGNAGE) REQUIRED BY CLAUSE 52.34 OF THE SCHEME.
- 1s FULL DETAILS AS REQUIRED BY THE ENDORSED WASTE MANAGEMENT PLAN.
- 1t FULL DETAILS INCLUDING AS TO MATERIALS AS REQUIRED BY THE ENDORSED ACOUSTIC PLAN.
- 1u FULL DETAILS AS REQUIRED BY THE ENDORSED WIND ASSESSMENT REPORT.

- WIND SCREENING TYPE  
(WS 01) FULL HEIGHT SCREEN (WS01): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS  
(WS 02) 1.7M BALUSTRADE (WS02): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS
- GLAZING TYPES  
(A) 10.38/150/6  
(B) 10.38/100/6  
(C) 10.38/50/6  
(D) 6/12/10.38  
(E) 12.76 LAM  
(F) 6.38 LAM
- REFER TO WIND ASSESSMENT REPORT AS PREPARED BY "MEL CONSULTANTS" FOR FURTHER DETAILS OF WIND MITIGATION STRATEGIES
- REFER TO ACOUSTIC REPORT AS PREPARED BY SLR FOR FULL DESCRIPTION OF GLAZING TYPES

REFER TO SHEETS TA12 TO TA14 FOR UNITS LAYOUT DETAILS

NOTE: ALL NOTED LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD)

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWER - 2nd FLOOR  
TERRACE UNITS - PART 2nd FLOOR

- INFORMATION -	
DATE:	SCALE:
MAR-18-19	1:200 @ A1
DWG No:	REV:
TA18	P5
	MAR 18 2019

SGOURAKIS  
ARCHITECTS  
2 JACKSON PLACE, 4880TFORD VIC 3800  
T: 03 9551 9584  
INFO@SGOURAKISARCHITECTS.COM





SITE AREA SCHEDULE

SITE AREA	16662	sqm
Site Cover	5917.47	sqm
	35.51%	
Hard Surfaces	10285.39	sqm
Includes Building footprints & site cover		
Permeability (%)	6376.61	sqm
	38.27%	

APARTMENT TOWERS AREA SCHEDULE

Levels	Car parking		Common Area (m2)	Residential Apartment Towers						Terraces		Area per level	
	Spaces	Area (m2)		Area (m2)	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total	Area (m2)	NFA (m2)	GFA (m2)	
Ground Lower	43	2240.40	152.40	2240.40								2240.40	
Ground Upper	33	1397.40	282.00	603.69	3		6		9	174.60		2457.69	
1st Floor	43	1325.50	207.80	605.74	3		3		6	97.43		2296.47	
2nd Floor			176.90	898.38	4		8		12	379.79		1799.07	
3rd Floor			176.30	953.56	5		8		13	167.28		1297.14	
4th Floor			176.30	953.56	5		8		13	167.28		1297.14	
5th Floor			176.30	953.56	5		8		13	167.28		1297.14	
6th Floor			149.00	755.56	2		6	1	9	223.90		2107.92	
7th Floor			175.00	734.56	5		5		10	136.00		1045.56	
8th Floor			162.00	599.76	3		5		8	175.90		937.66	
Totals	119	4963.30	666.70	2107.81	35		57		93			16776.19	
Required Car Park Analysis				Visitors	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Store	101		
Rate				0.20	1.00	1.00	1.00	1.00	2.00	6m3			
Required Cars				18.60	35.00		57.00		2.00	3m3			
Total car spaces required				113						Total	101		
Bike Racks				27.9									

- 1k DETAILS OF THE BICYCLE PARKING IN ACCORDANCE WITH THE DESIGN STANDARDS (INCLUDING SIGNAGE) REQUIRED BY CLAUSE 52.34 OF THE SCHEME.
- 1s FULL DETAILS AS REQUIRED BY THE ENDORSED WASTE MANAGEMENT PLAN.
- 1t FULL DETAILS INCLUDING AS TO MATERIALS AS REQUIRED BY THE ENDORSED ACOUSTIC PLAN.
- 1u FULL DETAILS AS REQUIRED BY THE ENDORSED WIND ASSESSMENT REPORT.

APARTMENT TOWERS AREA SCHEDULE

Number of Apt's	93
1 beds	35
2 Beds	57
3 Beds	1
Car parking spaces	119
Bicycles	96
Floor areas	16776.19 sqm
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2296.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

- 1u WIND SCREENING TYPE
- (WS 01) FULL HEIGHT SCREEN (WS01): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS
- (WS 02) 1.7M BALUSTRADE (WS02): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS

REFER TO WIND ASSESSMENT REPORT AS PREPARED BY "MEL CONSULTANTS" FOR FURTHER DETAILS OF WIND MITIGATION STRATEGIES

GLAZING TYPES

- A 10.38/150/6
- B 10.38/100/6
- C 10.38/50/6
- D 6/12/10.38
- E 12.76 LAM
- F 6.38 LAM

REFER TO ACOUSTIC REPORT AS PREPARED BY SLR FOR FULL DESCRIPTION OF GLAZING TYPES

3rd Floor	1297.14	sqm	13
Common	175.30		
Apartments	Area	Terrace	
Apt+01	87.38	12.64	
Apt+02	54.75	13.35	
Apt+03	73.90	8.70	
Apt+04	82.66	16.00	
Apt+05	92.00	13.70	
Apt+06	54.19	8.70	
Apt+07	56.62	12.19	
Apt+08	88.36	16.00	
Apt+09	76.50	10.40	
Apt+10	62.90	8.40	
Apt+11	84.60	14.30	
Apt+12	90.00	21.30	
Apt+13	55.70	11.60	
Apt+13	953.56	167.28	
4th Floor	1297.14	sqm	13
Common	175.30		
Apartments	Area	Terrace	
Apt+01	87.38	12.64	
Apt+02	54.75	13.35	
Apt+03	73.90	8.70	
Apt+04	82.66	16.00	
Apt+05	92.00	13.70	
Apt+06	54.19	8.70	
Apt+07	56.62	12.19	
Apt+08	88.36	16.00	
Apt+09	76.50	10.40	
Apt+10	62.90	8.40	
Apt+11	84.60	14.30	
Apt+12	90.00	21.30	
Apt+13	55.70	11.60	
Apt+13	953.56	167.28	
5th Floor	1297.14	sqm	13
Common	175.30		
Apartments	Area	Terrace	
Apt+01	87.38	12.64	
Apt+02	54.75	13.35	
Apt+03	73.90	8.70	
Apt+04	82.66	16.00	
Apt+05	92.00	13.70	
Apt+06	54.19	8.70	
Apt+07	56.62	12.19	
Apt+08	88.36	16.00	
Apt+09	76.50	10.40	
Apt+10	62.90	8.40	
Apt+11	84.60	14.30	
Apt+12	90.00	21.30	
Apt+13	55.70	11.60	
Apt+13	953.56	167.28	
6th Floor	2107.92	sqm	9
Common	149.00		
Apartments	Area	Terrace	
Apt+01	82.60	16.00	
Apt+02	92.90	13.70	
Apt+03	122.00	11.20	
Apt+04	88.36	16.00	
Apt+05	76.50	10.40	
Apt+06	62.90	8.40	
Apt+07	84.60	14.30	
Apt+08	90.00	21.30	
Apt+09	55.70	11.60	
Apt+09	755.56	223.90	
7th Floor	1045.56	sqm	10
Common	175.00		
Apartments	Area	Terrace	
Apt+01	82.60	16.00	

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 20 of 40  
Date: 23/04/19

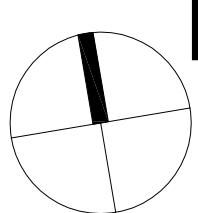
REFER TO SHEETS TA12 TO TA14 FOR UNITS LAYOUT DETAILS

REVISIONS:

No	Date	Description	By
P4	03-10-2018	For Information	
P5	18-03-2019	Response to Council RFIs	

NOTE: ALL NOTED LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD)

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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWER - 3rd, 4th, & 5th FLOORS

- INFORMATION -

DATE:	SCALE:
MAR-18-19	1:200 @ A1
	1:400 @ A3
DWG No:	REV:
TA19	P5
	MAR 18 2019

SGOURAKIS  
ARCHITECTS

2 HANCOCK PLACE, 4880TFORD VIC 3800  
T: 03 9551 9884  
INFO@SGOURAKISARCHITECTS.COM





SITE AREA SCHEDULE		
SITE AREA	16662	sqm
Site Cover	5917.47	sqm
	35.51%	
Hard Surfaces	10285.39	sqm
Includes Building footprints & site cover		
Permeability (%)	6376.61	sqm
	38.27%	

APARTMENT TOWERS AREA SCHEDULE										
Levels	Car parking		Common Area (m2)	Residential Apartment Towers						Terraces Area (m2)
	Spaces	Area (m2)		Area (m2)	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total	
Ground Lower	43	2240.40	152.40	2240.40					9	174.60
Ground Upper	33	1397.40	282.00	603.69	3		6		6	97.43
1st Floor	43	1325.50	207.80	605.74	3				12	379.79
2nd Floor			176.90	898.38	4		8		0	167.28
3rd Floor			176.30	953.56	5		8		13	167.28
4th Floor			176.30	953.56	5		8		13	167.28
5th Floor			176.30	953.56	5		8		13	167.28
6th Floor			149.00	755.56	2		6	1	9	223.90
7th Floor			175.00	734.56	5		5		10	136.00
8th Floor			162.00	599.76	3		5		8	175.90
Totals	119	4963.30	666.70	2107.81	35		57	1	93	
Required Car Park Analysis				Visitors	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Store
Rate				0.20	1.00	1.00	1.00	1.00	2.00	6m3
Required Cars				18.60	35.00		57.00		2.00	3m3
Total car spaces required				113	Bike Racks	27.9				Total
										101

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 21 of 40  
Date: 23/04/19

APARTMENT TOWERS AREA SCHEDULE	
Number of Apt's	93
1 beds	35
2 Beds	57
3 Beds	1
Car parking spaces	119
Bicycles	96
Floor areas	16776.19 sqm
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2296.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

Apt 702	91.90	13.70
Apt 703	53.00	10.00
Apt 704	49.00	14.30
Apt 705	88.36	16.00
Apt 706	76.50	10.40
Apt 707	62.90	8.40
Apt 708	84.60	14.30
Apt 709	90.00	21.30
Apt 710	55.70	11.60
Apt 711	724.56	136.00
8th Floor	937.66	sqm
Common	162.00	
Apartments	Area	Terrace
Apt 801	82.60	16.00
Apt 802	91.90	13.70
Apt 803	53.00	10.00
Apt 804	49.00	14.30

- 1k DETAILS OF THE BICYCLE PARKING IN ACCORDANCE WITH THE DESIGN STANDARDS (INCLUDING SIGNAGE) REQUIRED BY CLAUSE 52.34 OF THE SCHEME.
- 1s FULL DETAILS AS REQUIRED BY THE ENDORSED WASTE MANAGEMENT PLAN.
- 1t FULL DETAILS INCLUDING AS TO MATERIALS AS REQUIRED BY THE ENDORSED ACOUSTIC PLAN.
- 1u FULL DETAILS AS REQUIRED BY THE ENDORSED WIND ASSESSMENT REPORT.

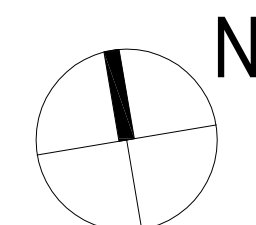
- WIND SCREENING TYPE  
FULL HEIGHT SCREEN (WS01): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS  
1.7M BALUSTRADE (WS02): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS
- GLAZING TYPES  
(A) 10.38/150/6  
(B) 10.38/100/6  
(C) 10.38/50/6  
(D) 6/12/10.38  
(E) 12.76 LAM  
(F) 6.38 LAM
- REFER TO WIND ASSESSMENT REPORT AS PREPARED BY "MEL CONSULTANTS" FOR FURTHER DETAILS OF WIND MITIGATION STRATEGIES
- REFER TO ACOUSTIC REPORT AS PREPARED BY SLR FOR FULL DESCRIPTION OF GLAZING TYPES

REFER TO SHEETS TA12 TO TA14 FOR UNITS LAYOUT DETAILS

NOTE: ALL NOTED LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD)

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWER - 6th FLOOR

- INFORMATION -	
DATE:	SCALE:
MAR-18-19	1:200 @ A1
	1:400 @ A3
DWG No:	REV:
TA20	P5
	MAR 18 2019

SGOURAKIS  
ARCHITECTS  
2 JACKSON PLACE, 4880TFORD VIC 3800  
T: 03 9551 9884  
INFO@SGOURAKISARCHITECTS.COM





SITE AREA SCHEDULE

SITE AREA	16662	sqm
Site Cover	5917.47	sqm
	35.51%	
Hard Surfaces	10285.39	sqm
Includes Building footprints & site cover		
Permeability (%)	6376.61	sqm
	38.27%	

APARTMENT TOWERS AREA SCHEDULE

Levels	Car parking		Common Area (m2)	Residential Apartment Towers						Terraces		Area per level	
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total	Area (m2)	NFA (m2)	GFA (m2)
Ground Lower	43	2240.40	152.40	2240.40						9	174.60		2240.40
Ground Upper	33	1397.40	282.00	603.69	3		6			6	97.43		2457.69
1st Floor	43	1325.50	207.80	605.74	3		3			0	379.79		1799.07
2nd Floor			176.90	898.38	4		8			0	12		1297.14
3rd Floor			176.30	953.56	5		8			0	13		1297.14
4th Floor			176.30	953.56	5		8			0	13		1297.14
5th Floor			176.30	953.56	5		8			0	13		1297.14
6th Floor			149.00	755.56	2		6		1	9	223.90		2107.92
7th Floor			175.00	734.56	5		5		0	10	136.00		1045.56
8th Floor			162.00	599.76	3		5		0	8	175.90		937.66
Totals	119	4963.30	666.70	2107.81	35		57		1	93			16776.19
Required Car Park Analysis				Visitors	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds		Store		
Rate				0.20	1.00	1.00	1.00	1.00	2.00		6m3	101	
Required Cars				18.60	35.00		57.00		2.00		3m3		
Total car spaces required				113	Bike Racks	27.9					Total	101	

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 22 of 40  
Date: 23/04/19

APARTMENT TOWERS AREA SCHEDULE

Number of Apt's	93
1 beds	35
2 Beds	57
3 Beds	1
Car parking spaces	119
Bicycles	96
Floor areas	16776.19 sqm
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2296.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

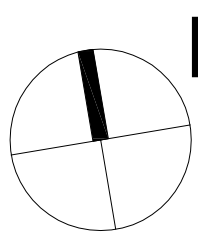
Apt 805	88.36	16.00
Apt 806	89.20	73.00
Apt 807	90.00	21.30
Apt 808	55.70	11.60
	599.76	175.90

- 1k DETAILS OF THE BICYCLE PARKING IN ACCORDANCE WITH THE DESIGN STANDARDS (INCLUDING SIGNAGE) REQUIRED BY CLAUSE 52.34 OF THE SCHEME.
- 1s FULL DETAILS AS REQUIRED BY THE ENDORSED WASTE MANAGEMENT PLAN.
- 1t FULL DETAILS INCLUDING AS TO MATERIALS AS REQUIRED BY THE ENDORSED ACOUSTIC PLAN.
- 1u FULL DETAILS AS REQUIRED BY THE ENDORSED WIND ASSESSMENT REPORT.

- WIND SCREENING TYPE  
(WS 01) FULL HEIGHT SCREEN (WS01): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS  
(WS 02) 1.7M BALUSTRADE (WS02): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS
- GLAZING TYPES  
(A) 10.38/150/6  
(B) 10.38/100/6  
(C) 10.38/50/6  
(D) 6/12/10.38  
(E) 12.76 LAM  
(F) 6.38 LAM
- REFER TO WIND ASSESSMENT REPORT AS PREPARED BY "MEL CONSULTANTS" FOR FURTHER DETAILS OF WIND MITIGATION STRATEGIES
- REFER TO ACOUSTIC REPORT AS PREPARED BY SLR FOR FULL DESCRIPTION OF GLAZING TYPES

REFER TO SHEETS TA12 TO TA14 FOR UNITS LAYOUT DETAILS

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	
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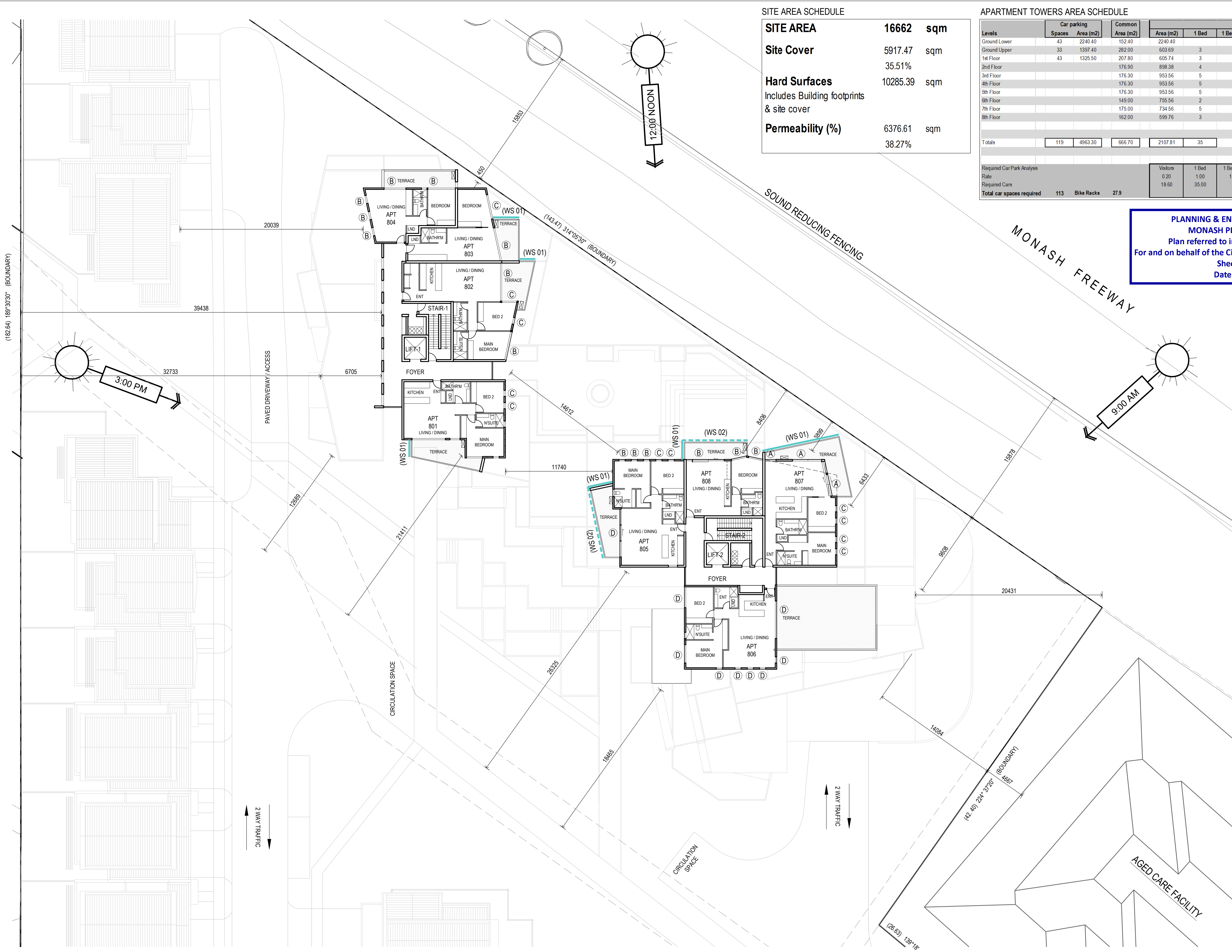
PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWER - 7th FLOOR

- INFORMATION -

DATE:	SCALE:
MAR-18-19	1:200 @ A1
DWG No:	REV:
TA21	P5
	MAR 18 2019

SGOURAKIS  
ARCHITECTS  
2/40 GLENVIEW AVENUE, MURDOCH VIC 3113  
T: 03 9551 9884  
INFO@SGOURAKISARCHITECTS.COM





SITE AREA SCHEDULE

<b>SITE AREA</b>	<b>16662</b>	<b>sqm</b>
<b>Site Cover</b>	<b>5917.47</b>	<b>sqm</b>
	<b>35.51%</b>	
<b>Hard Surfaces</b>	<b>10285.39</b>	<b>sqm</b>
Includes Building footprints & site cover		
<b>Permeability (%)</b>	<b>6376.61</b>	<b>sqm</b>
	<b>38.27%</b>	

APARTMENT TOWERS AREA SCHEDULE

Levels	Car parking		Common Area (m2)	Residential Apartment Towers						Terraces Area (m2)	Area per level	
	Spaces	Area (m2)		Area (m2)	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds	Total	NFA (m2)	GFA (m2)
Ground Lower	43	2240.40	152.40	2240.40						9	174.60	2240.40
Ground Upper	33	1397.40	282.00	603.69	3		6		0	6	97.43	2457.69
1st Floor	43	1325.50	207.80	605.74	3		3		0	12	379.79	1799.07
2nd Floor			176.90	898.38	4		8		0	13	167.28	1297.14
3rd Floor			176.30	953.56	5		8		0	13	167.28	1297.14
4th Floor			176.30	953.56	5		8		0	13	167.28	1297.14
5th Floor			176.30	953.56	5		8		0	13	167.28	1297.14
6th Floor			149.00	755.56	2		6		1	9	223.90	2107.92
7th Floor			175.00	734.56	5		5		0	10	136.00	1045.56
8th Floor			162.00	599.76	3		5		0	8	175.90	937.66
Totals	119	4963.30	666.70	2107.81	35		57		1	93		16776.19
Required Car Park Analysis				Visitors	1 Bed	1 Bed + St	2 Beds	2 Beds + St	3 Beds		Store	
Rate				0.20	1.00	1.00	1.00	1.00	2.00		6m3	101
Required Cars				18.60	35.00		57.00		2.00		3m3	
Total car spaces required				113	Bike Racks	27.9					Total	101

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 23 of 40  
Date: 23/04/19

APARTMENT TOWERS AREA SCHEDULE

<b>Number of Apt's</b>	<b>93</b>
1 beds	35
2 Beds	57
3 Beds	1
<b>Car parking spaces</b>	<b>119</b>
<b>Bicycles</b>	<b>96</b>
<b>Floor areas</b>	<b>16776.19 sqm</b>
Ground Lower	2240.40 sqm
Ground Upper	2457.69 sqm
1st Floor	93.44% 2296.47 sqm
2nd Floor	73.20% 1799.07 sqm
3rd Floor	52.78% 1297.14 sqm
4th Floor	52.78% 1297.14 sqm
5th Floor	52.78% 1297.14 sqm
6th Floor	85.77% 2107.92 sqm
7th Floor	42.54% 1045.56 sqm
8th Floor	38.15% 937.66 sqm

- 1k** DETAILS OF THE BICYCLE PARKING IN ACCORDANCE WITH THE DESIGN STANDARDS (INCLUDING SIGNAGE) REQUIRED BY CLAUSE 52.34 OF THE SCHEME.
- 1s** FULL DETAILS AS REQUIRED BY THE ENDORSED WASTE MANAGEMENT PLAN.
- 1t** FULL DETAILS INCLUDING AS TO MATERIALS AS REQUIRED BY THE ENDORSED ACOUSTIC PLAN.
- 1u** FULL DETAILS AS REQUIRED BY THE ENDORSED WIND ASSESSMENT REPORT.

- WIND SCREENING TYPE**

  - (WS 01) FULL HEIGHT SCREEN (WS01): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS
  - (WS 02) 1.7M BALUSTRADE (WS02): COMBINATION OF SOLID WALL AND/OR GLAZED PANELS
- GLAZING TYPES**

  - (A) 10.38/150/6
  - (B) 10.38/100/6
  - (C) 10.38/50/6
  - (D) 6/12/10.38
  - (E) 12.76 LAM
  - (F) 6.38 LAM
- REFER TO WIND ASSESSMENT REPORT AS PREPARED BY "MEL CONSULTANTS" FOR FURTHER DETAILS OF WIND MITIGATION STRATEGIES
- REFER TO ACOUSTIC REPORT AS PREPARED BY SLR FOR FULL DESCRIPTION OF GLAZING TYPES

REFER TO SHEETS TA12 TO TA14 FOR UNITS LAYOUT DETAILS

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

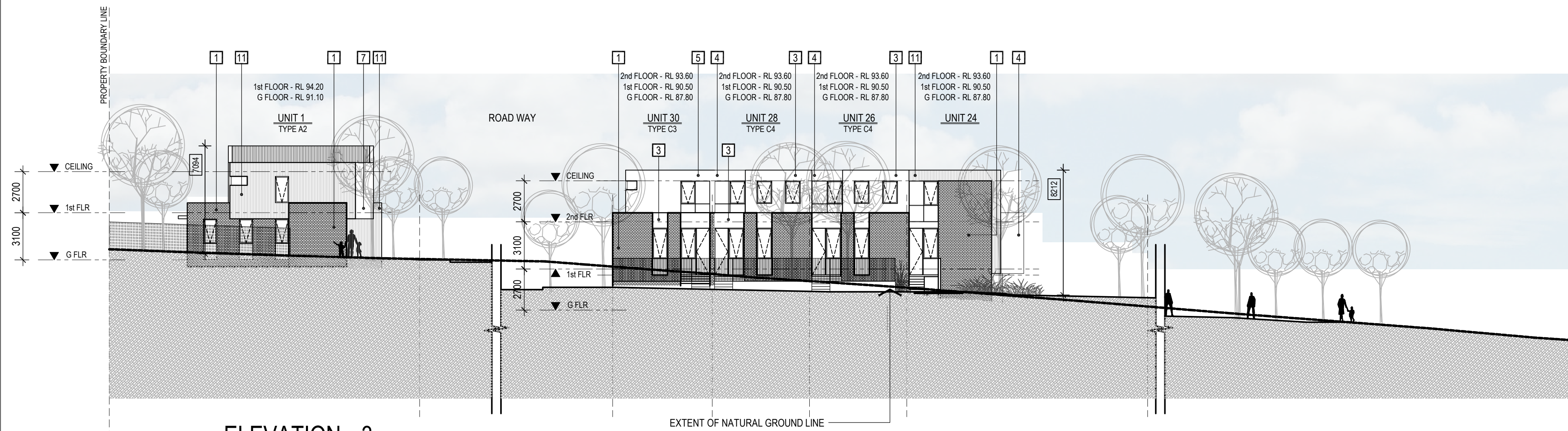
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**N**  
PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWER - 8th FLOOR

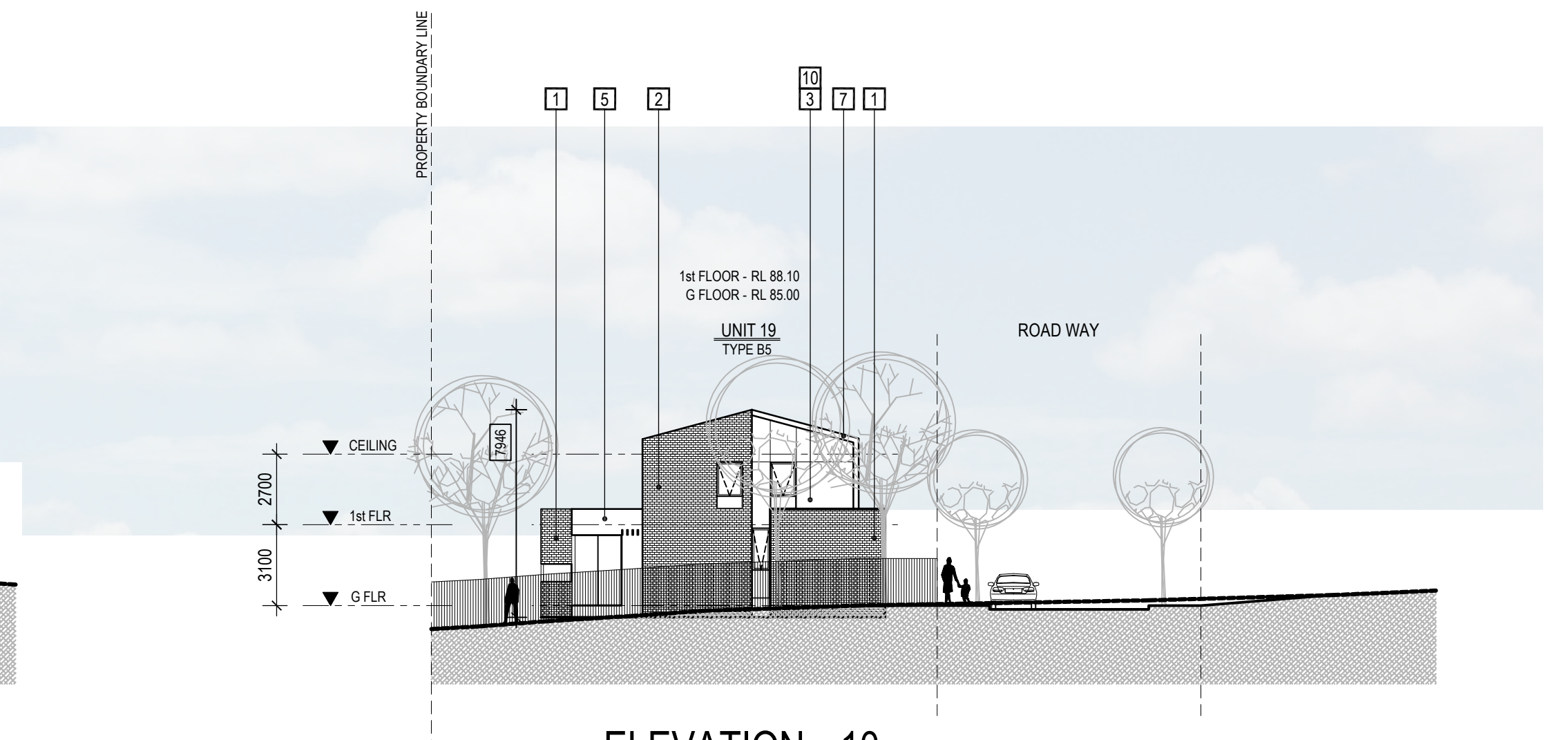
- INFORMATION -			
DATE:	SCALE:		
MAR-18-19	1:200 @ A1		
DWG No:	REV:		
TA22	P5	MAR 18 2019	

**SGOURAKIS ARCHITECTS**  
2/405 HANWORTH STREET, MULGRAVE VIC 3170  
T: 03 9551 9584  
INFO@SGOURAKISARCHITECTS.COM

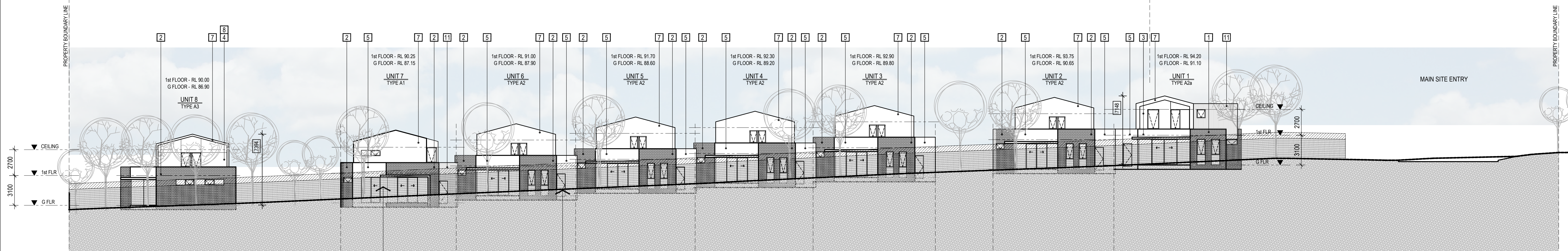




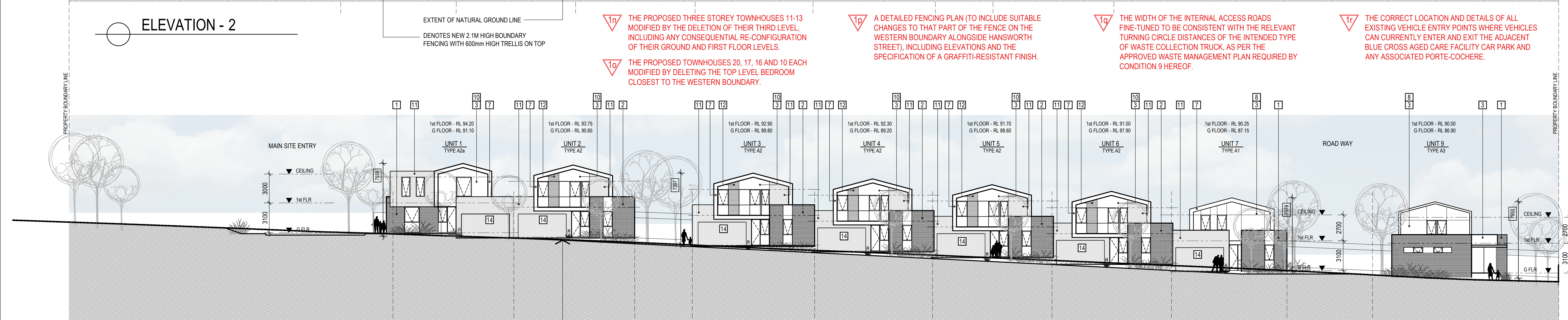
ELEVATION - 3



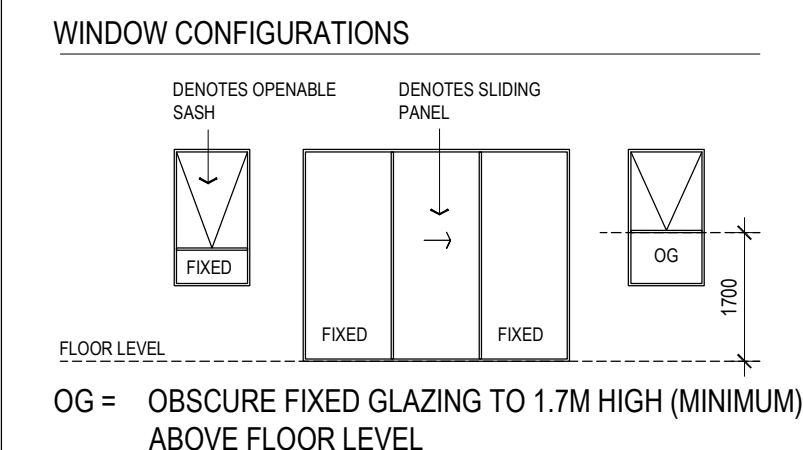
ELEVATION - 10



ELEVATION - 2



ELEVATION - 1



ALL NOTED HEIGHTS OF THE BUILDING ARE MEASURED FROM CORRESPONDING EXISTING NATURAL GROUND LEVELS

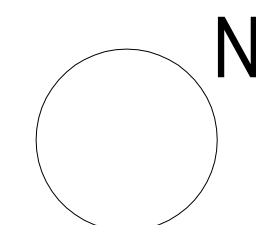
MATERIALS & COLOUR SCHEDULE - TERRACE UNITS

- |   |                                     |   |  |    |   |    |                                      |
|---|-------------------------------------|---|--|----|---|----|--------------------------------------|
| 1 | BRICK WORK 1                        | 5 | COLOUR TO MATCH DULUX WHITE DUCK                 | 8  | REBATED FC SHEET PANELS                       | 9  | VERTICAL REBATED FC CLADDING         |
| 2 | BRICK WORK 2                        | 6 | COLOUR TO MATCH COLOURBOND IRONSTONE             | 10 | TIMBER LOOK PANNELLING BATTENED WALL CLADDING | 13 | VERTICAL SCREEN FENCES               |
| 3 | COLOUR TO MATCH DULUX NATURAL WHITE | 7 | COLOUR TO MATCH COLOURBOND WINDSPRAY METAL WORKS | 11 | TIMBER LOOK PANNELLING                        | 14 | PANEL LIFT GARAGE DOOR - TIMBER CLAD |
| 4 | COLOUR TO MATCH DULUX GUILD GREY    |   | • CANOPY ROOFING                                 | 12 | HORIZONTAL SCREENING                          | 15 | PANEL LIFT GARAGE DOOR - PERFORATED  |
|   |                                     |   | • METAL WORKS                                    |    |   |    |                                      |
|   |                                     |   | • DOWNPIPES                                      |    |   |    |                                      |

NOTE: ALL NOTED LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD)

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

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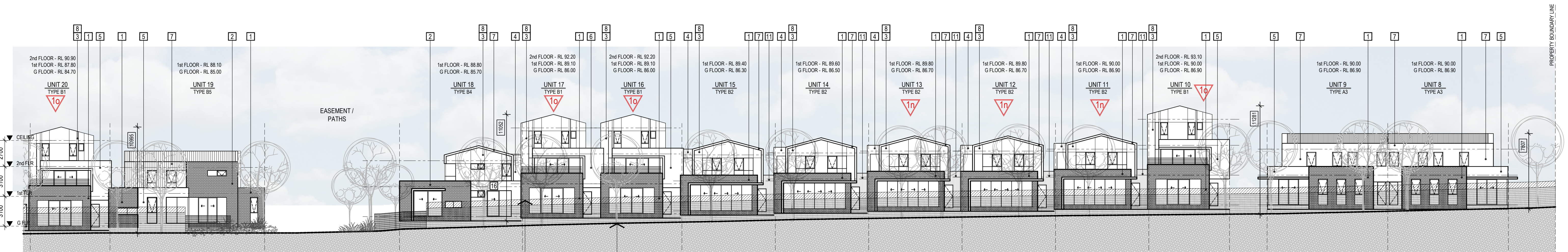
PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
SITE ELEVATIONS

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 24 of 40  
Date: 23/04/19

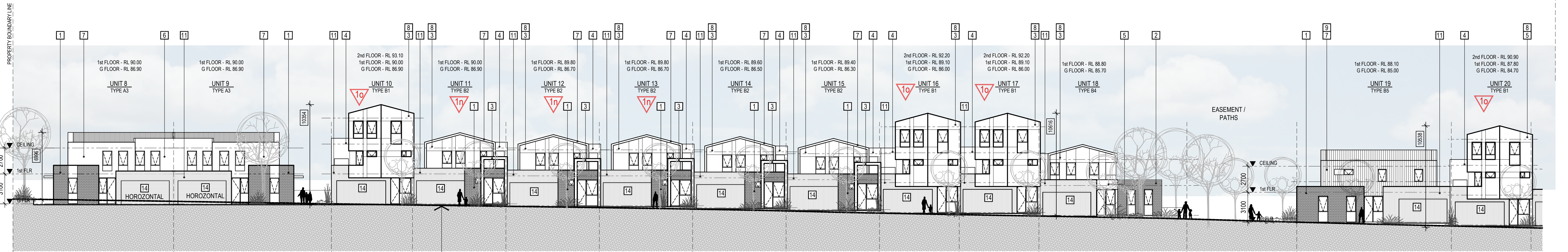
- INFORMATION -  
DATE: MAR-18-19  
SCALE: 1:200 @ A1  
1:400 @ A3  
DWG No: TB01  
P5  
MAR 18 2019

SGOURAKIS  
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T: 03 9551 9584  
INFO@SGOURAKISARCHITECTS.COM





ELEVATION - 6



ELEVATION - 5

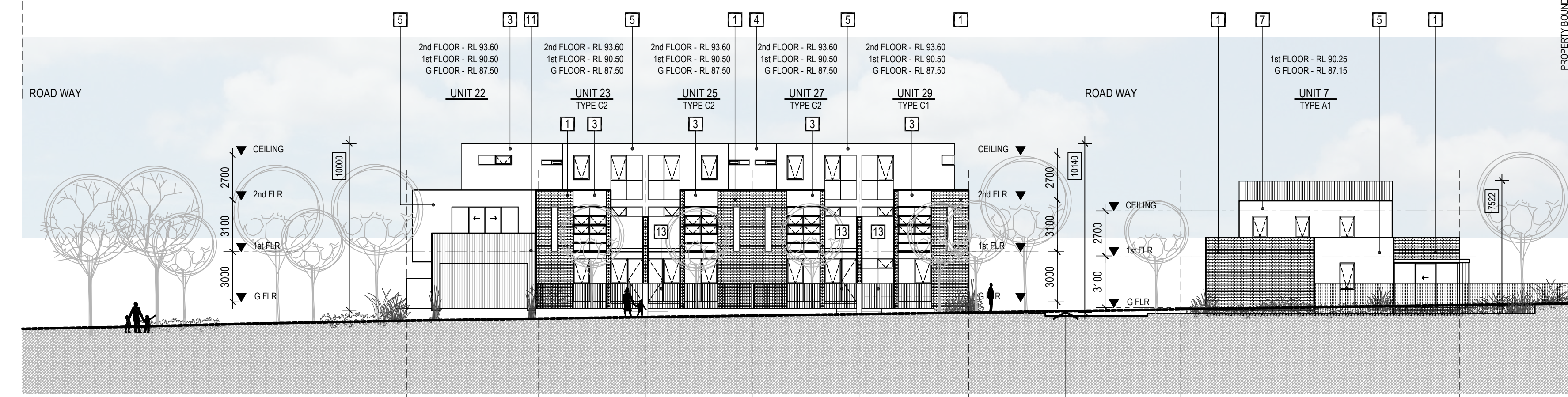
1n THE PROPOSED THREE STOREY TOWNHOUSES 11-13 MODIFIED BY THE DELETION OF THEIR THIRD LEVEL, INCLUDING ANY CONSEQUENTIAL RE-CONFIGURATION OF THEIR GROUND AND FIRST FLOOR LEVELS.

1o THE PROPOSED TOWNHOUSES 20, 17, 16 AND 10 EACH MODIFIED BY DELETING THE TOP LEVEL BEDROOM CLOSEST TO THE WESTERN BOUNDARY.

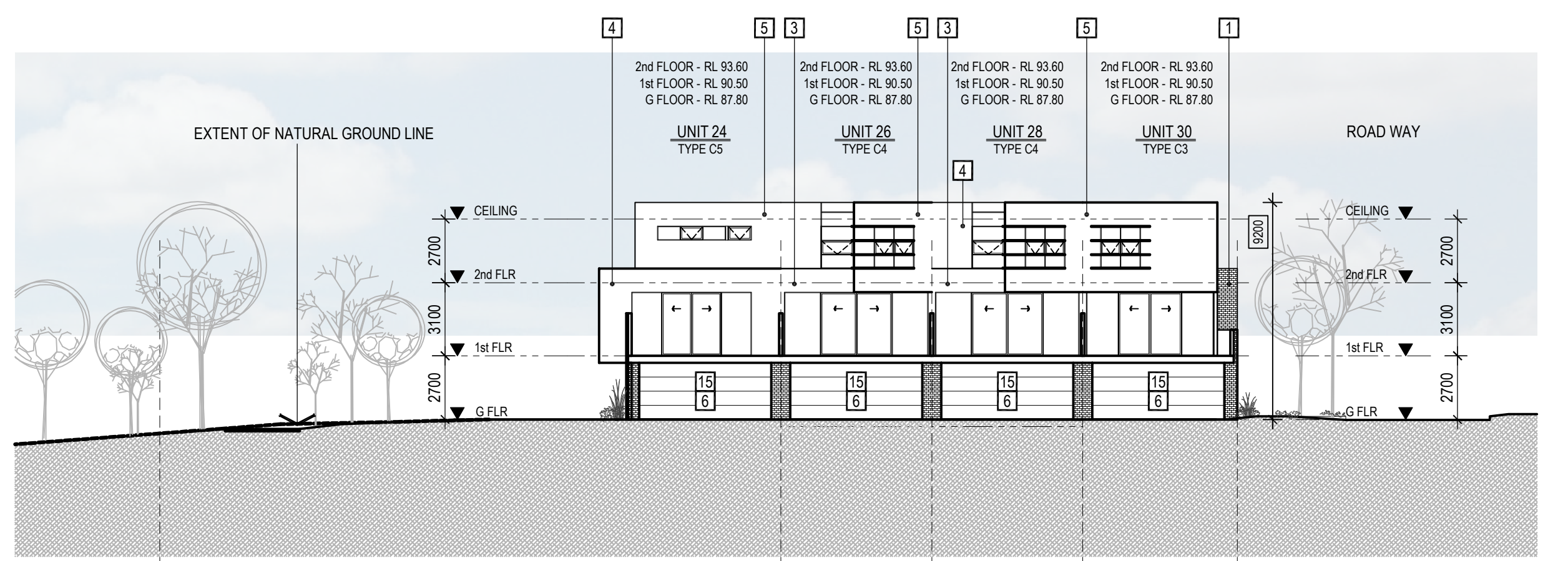
1n A DETAILED FENCING PLAN (TO INCLUDE SUITABLE CHANGES TO THAT PART OF THE FENCE ON THE WESTERN BOUNDARY ALONGSIDE HANSWORTH STREET), INCLUDING ELEVATIONS AND THE SPECIFICATION OF A GRAFFITI-RESISTANT FINISH.

1n THE WIDTH OF THE INTERNAL ACCESS ROADS FINE-TUNED TO BE CONSISTENT WITH THE RELEVANT TURNING CIRCLE DISTANCES OF THE INTENDED TYPE OF WASTE COLLECTION TRUCK, AS PER THE APPROVED WASTE MANAGEMENT PLAN REQUIRED BY CONDITION 9 HEREOF.

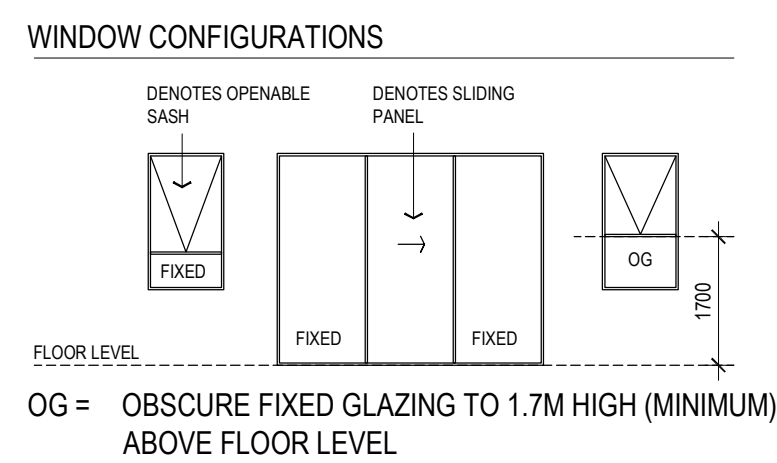
1n THE CORRECT LOCATION AND DETAILS OF ALL EXISTING VEHICLE ENTRY POINTS WHERE VEHICLES CAN CURRENTLY ENTER AND EXIT THE ADJACENT BLUE CROSS AGED CARE FACILITY CAR PARK AND ANY ASSOCIATED PORTE-COCHERE.



ELEVATION - 4



ELEVATION - 19



ALL NOTED HEIGHTS OF THE BUILDING ARE MEASURED FROM CORRESPONDING EXISTING NATURAL GROUND LEVELS

MATERIALS & COLOUR SCHEDULE - TERRACE UNITS

- |   |                                     |   |  |    |   |    |                                      |
|---|-------------------------------------|---|--|----|---|----|--------------------------------------|
| 1 | BRICK WORK 1                        | 5 | COLOUR TO MATCH DULUX WHITE DUCK                 | 8  | REBATED FC SHEET PANELS                       | 9  | VERTICAL REBATED FC CLADDING         |
| 2 | BRICK WORK 2                        | 6 | COLOUR TO MATCH COLOURBOND IRONSTONE             | 10 | TIMBER LOOK PANNELLING BATTENED WALL CLADDING | 13 | VERTICAL SCREEN FENCES               |
| 3 | COLOUR TO MATCH DULUX NATURAL WHITE | 7 | COLOUR TO MATCH COLOURBOND WINDSPRAY METAL WORKS | 11 | TIMBER LOOK PANNELLING                        | 14 | PANEL LIFT GARAGE DOOR - TIMBER CLAD |
| 4 | COLOUR TO MATCH DULUX GUILD GREY    |   | • CANOPY ROOFING                                 | 12 | HORIZONTAL SCREENING                          | 15 | PANEL LIFT GARAGE DOOR - PERFORATED  |
|   |                                     |   | • METAL WORKS                                    |    |   |    |                                      |
|   |                                     |   | • DOWNPIPES                                      |    |   |    |                                      |

NOTE: ALL NOTED LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD)

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RfIs	

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1n A COMPLETE SET OF DETAILED ELEVATION DRAWINGS SHOWING ALL WINDOWS, DOORS, BALCONIES AND THE LIKE INCLUDING A GARAGE DOOR AT THE ENTRANCE TO THE UNDERCROFT PARKING FOR THE MID-SITE APARTMENT BLOCK.

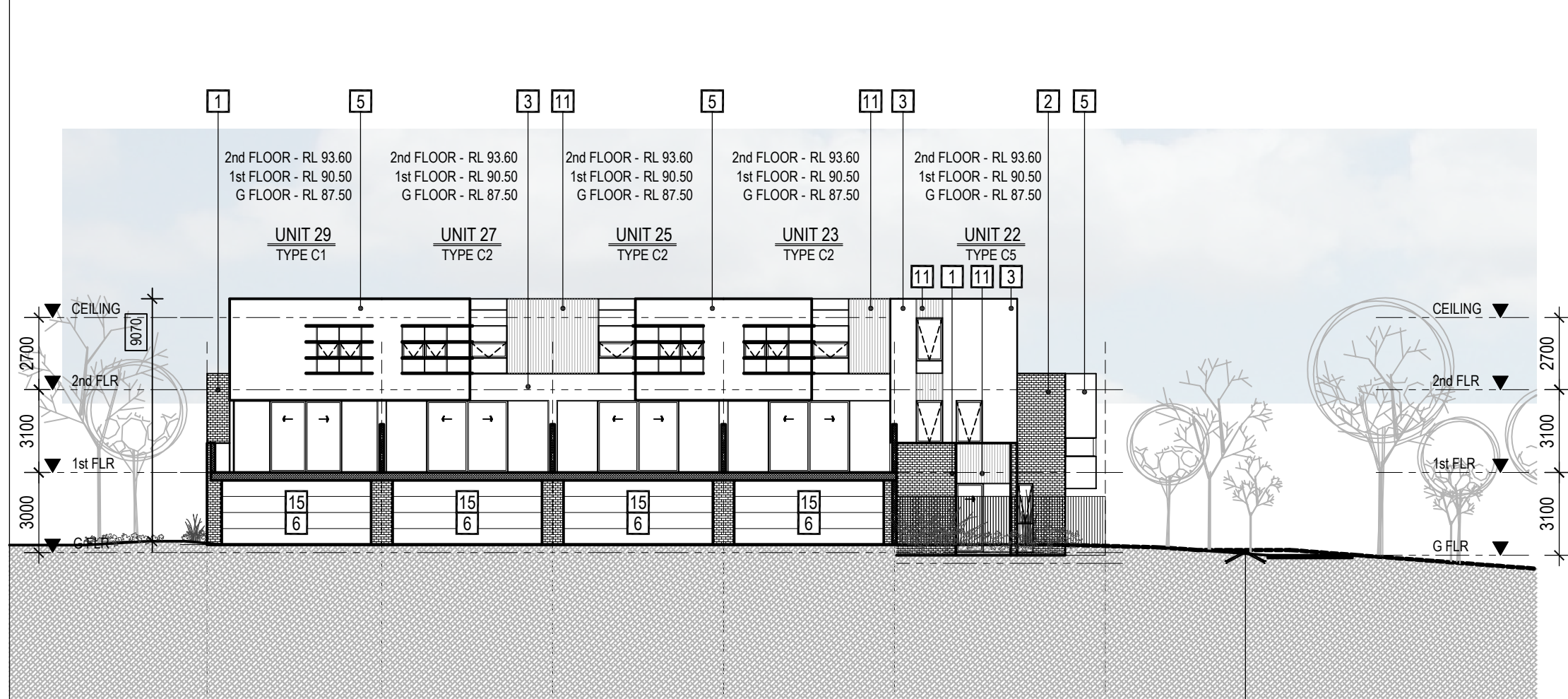
PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
SITE ELEVATIONS

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 25 of 40  
Date: 23/04/19

INFORMATION -  
DATE: MAR-18-19  
SCALE: 1:200 @ A1  
1:400 @ A3  
DWG No: TB02  
P5 MAR 18 2019

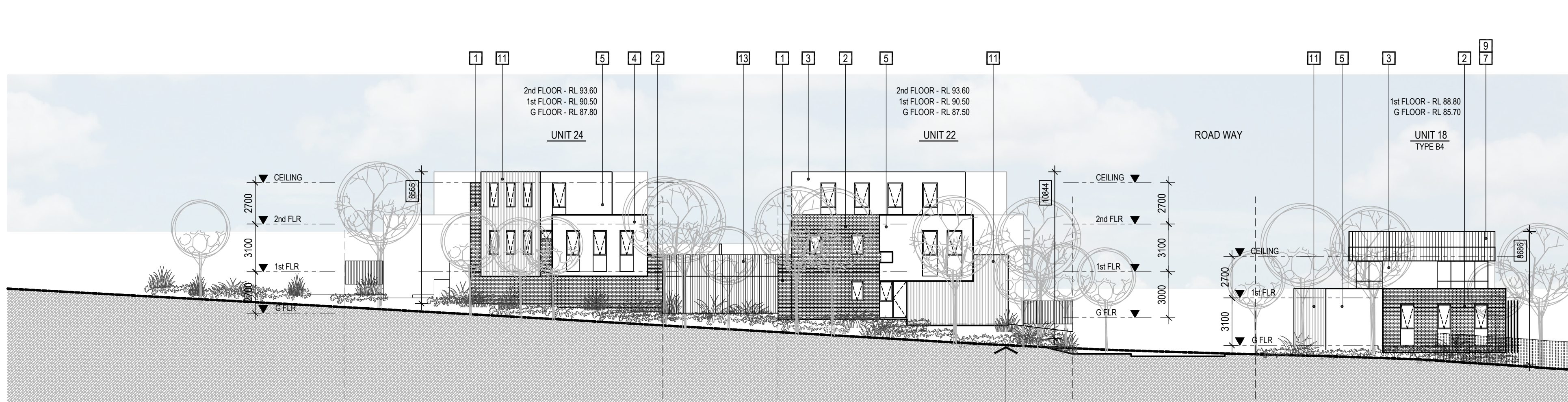
SGOURAKIS  
ARCHITECTS  
24 GARDEN STREET, MULGRAVE VIC 3170  
T: 03 9551 9884  
INFO@SGOURAKISARCHITECTS.COM





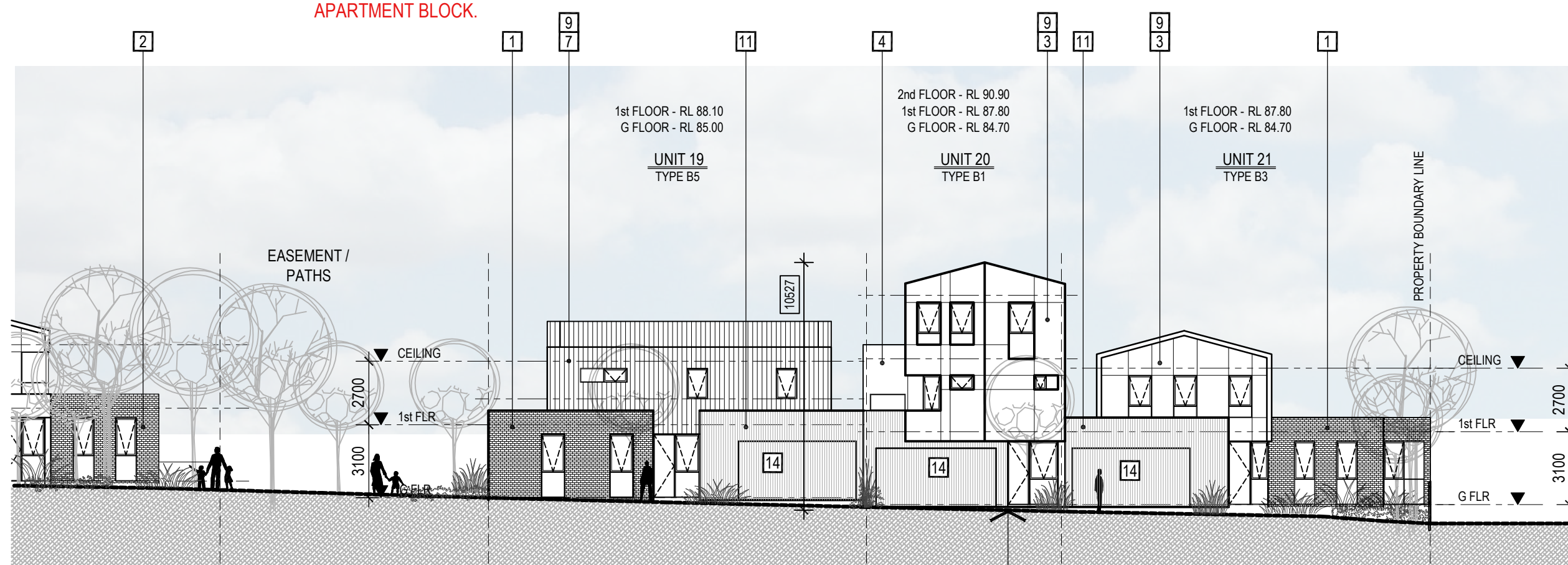
ELEVATION - 18

1d A COMPLETE SET OF DETAILED ELEVATION DRAWINGS SHOWING ALL WINDOWS, DOORS, BALCONIES AND THE LIKE INCLUDING A GARAGE DOOR AT THE ENTRANCE TO THE UNDERCROFT PARKING FOR THE MID-SITE APARTMENT BLOCK.



ELEVATION - 7

ELEVATION - 11

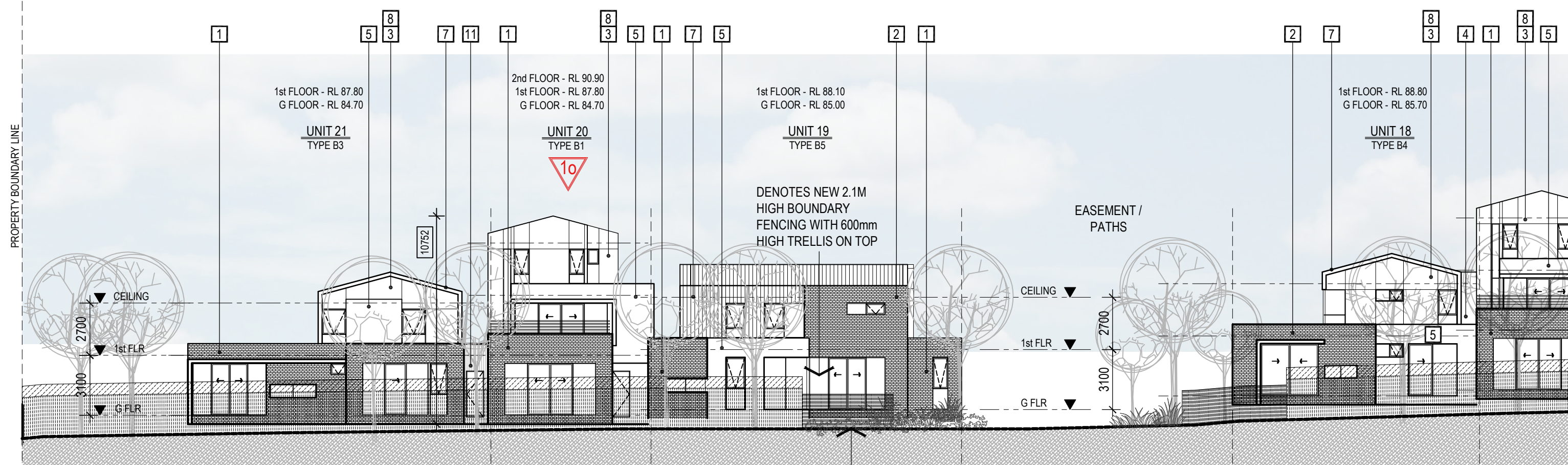


ELEVATION - 8

1n THE PROPOSED THREE STOREY TOWNHOUSES 11-13 MODIFIED BY THE DELETION OF THEIR THIRD LEVEL, INCLUDING ANY CONSEQUENTIAL RE-CONFIGURATION OF THEIR GROUND AND FIRST FLOOR LEVELS.

1o THE PROPOSED TOWNHOUSES 20, 17, 16 AND 10 EACH MODIFIED BY DELETING THE TOP LEVEL BEDROOM CLOSEST TO THE WESTERN BOUNDARY.

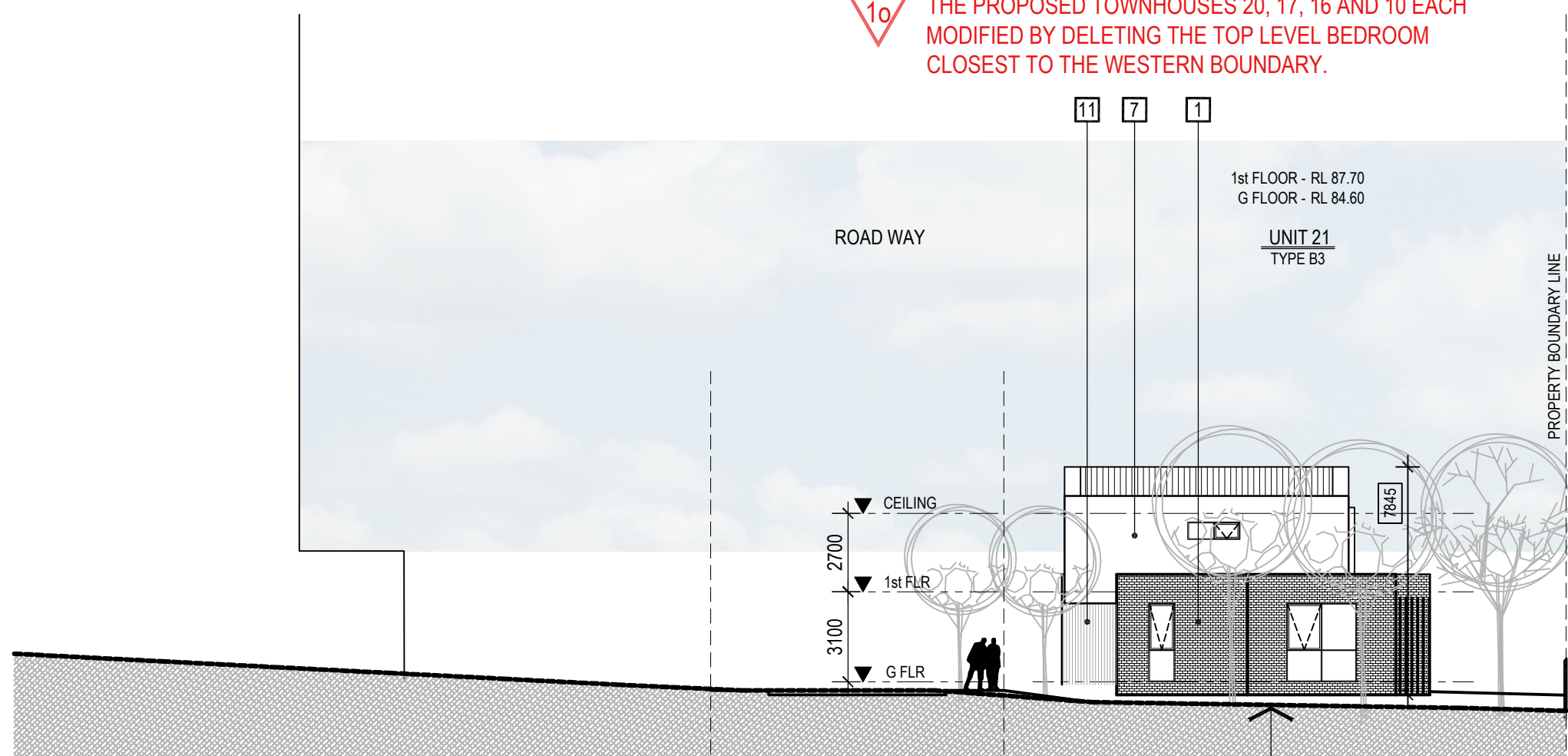
1p A DETAILED FENCING PLAN (TO INCLUDE SUITABLE CHANGES TO THAT PART OF THE FENCE ON THE WESTERN BOUNDARY ALONGSIDE HANSWORTH STREET), INCLUDING ELEVATIONS AND THE SPECIFICATION OF A GRAFFITI-RESISTANT FINISH.



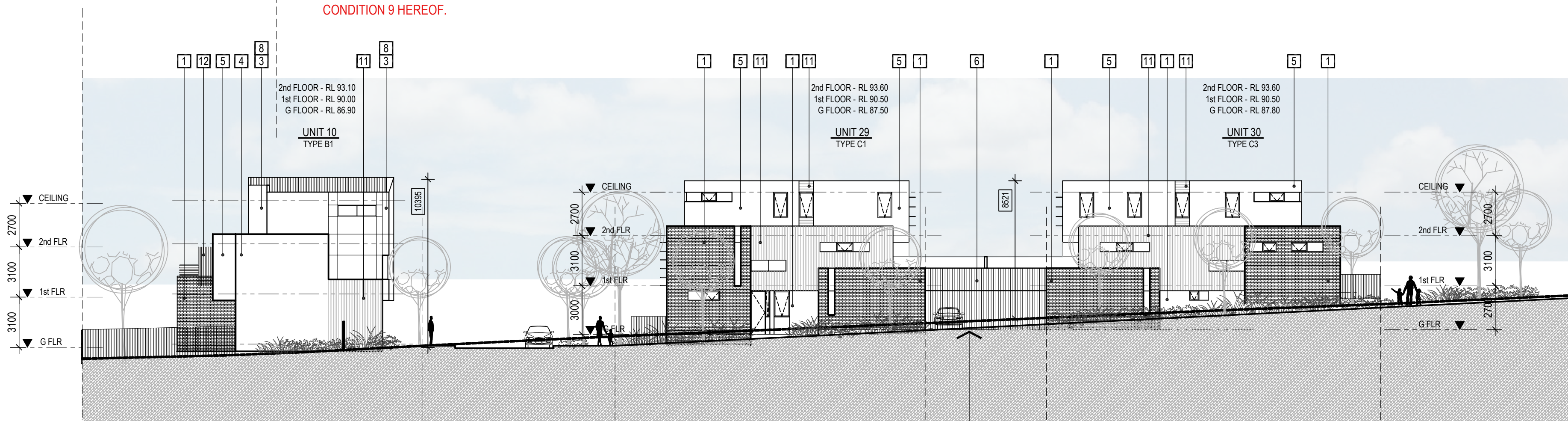
ELEVATION - 9

1q THE WIDTH OF THE INTERNAL ACCESS ROADS FINE-TUNED TO BE CONSISTENT WITH THE RELEVANT TURNING CIRCLE DISTANCES OF THE INTENDED TYPE OF WASTE COLLECTION TRUCK, AS PER THE APPROVED WASTE MANAGEMENT PLAN REQUIRED BY CONDITION 9 HEREOF.

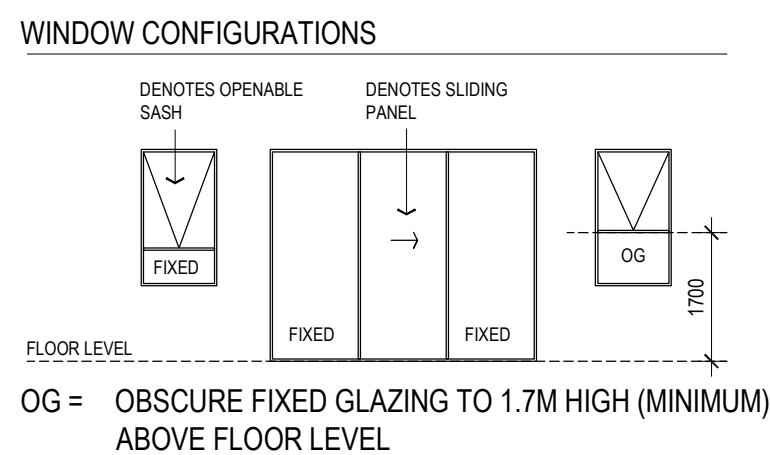
1r THE CORRECT LOCATION AND DETAILS OF ALL EXISTING VEHICLE ENTRY POINTS WHERE VEHICLES CAN CURRENTLY ENTER AND EXIT THE ADJACENT BLUE CROSS AGED CARE FACILITY CAR PARK AND ANY ASSOCIATED PORTE-COCHERE.



ELEVATION - 11



ELEVATION - 16



ALL NOTED HEIGHTS OF THE BUILDING ARE MEASURED FROM CORRESPONDING EXISTING NATURAL GROUND LEVELS

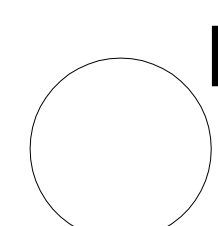
#### MATERIALS & COLOUR SCHEDULE - TERRACE UNITS

- |   |                                  |   |  |    |   |    |                                      |
|---|----------------------------------|---|--|----|---|----|--------------------------------------|
| 1 | BRICK WORK 1                     | 5 | COLOUR TO MATCH DULUX WHITE DUCK                 | 8  | REBATED FC SHEET PANELS                       | 9  | VERTICAL REBATED FC CLADDING         |
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| 3 | COLOUR TO MATCH COLOURBOND WHITE | 7 | COLOUR TO MATCH COLOURBOND WINDSPRAY METAL WORKS | 11 | TIMBER LOOK PANNELLING                        | 14 | PANEL LIFT GARAGE DOOR - TIMBER CLAD |
| 4 | COLOUR TO MATCH DULUX GUILD GREY |   | • CANOPY ROOFING                                 | 12 | HORIZONTAL SCREENING                          | 15 | PANEL LIFT GARAGE DOOR - PERFORATED  |
|   |                                  |   | • METAL WORKS                                    |    |   |    |                                      |
|   |                                  |   | • DOWNPIPES                                      |    |   |    |                                      |

NOTE: ALL NOTED LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD)

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
SITE ELEVATIONS

- INFORMATION -  
DATE: MAR-18-19  
SCALE: 1:200 @ A1  
DWG No: TB03  
P5  
MAR 18 2019

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 26 of 40  
Date: 23/04/19

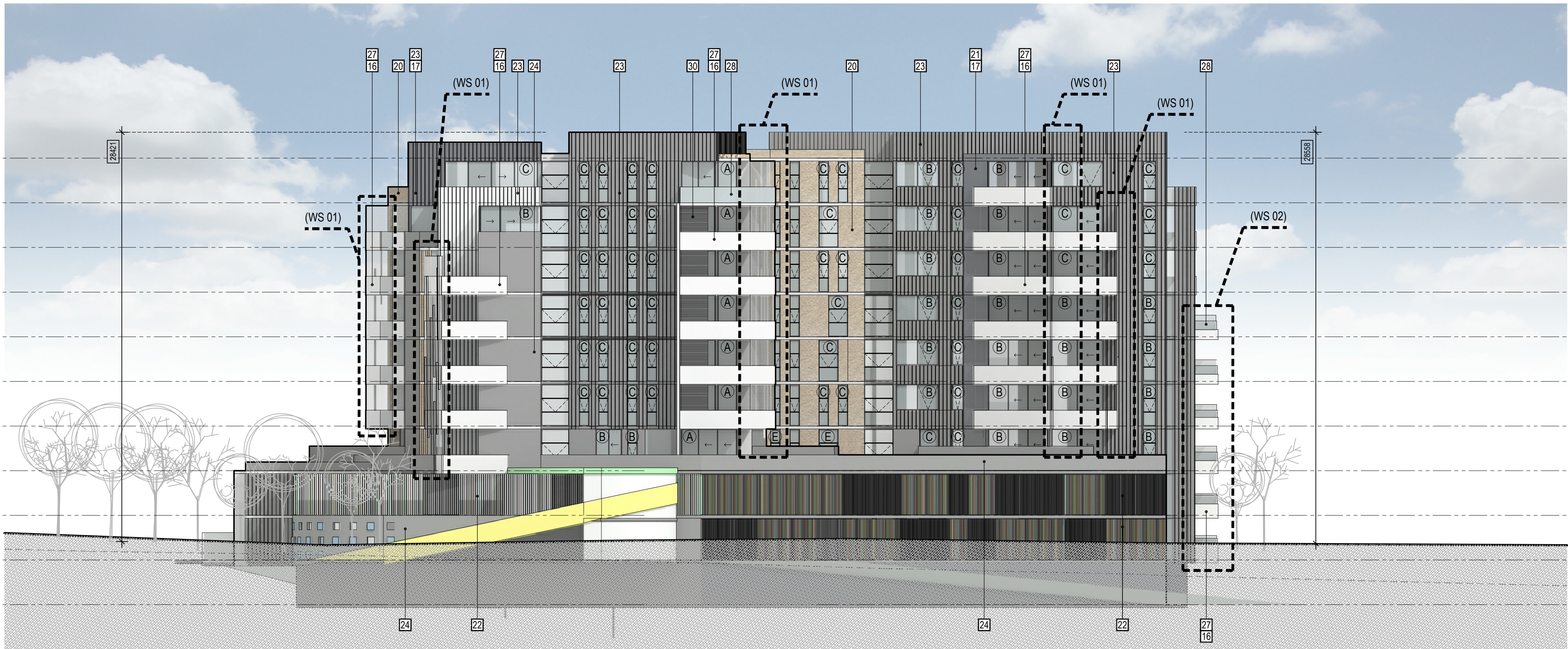
SGOURAKIS  
ARCHITECTS  
24 GOSWORTH ROAD, GOSWORTH VIC 3103  
T: 03 9551 9884  
INFO@SGOURAKISARCHITECTS.COM



- WIND SCREENING TYPE
- (WS 01) FULL HEIGHT SCREEN (WS01):  
COMBINATION OF SOLID WALL  
AND/OR GLAZED PANELS
- (WS 02) 1.7M BALUSTRADE (WS02):  
COMBINATION OF SOLID WALL  
AND/OR GLAZED PANELS

REFER TO WIND ASSESSMENT REPORT  
AS PREPARED BY "MEL CONSULTANTS"  
FOR FURTHER DETAILS OF WIND  
MITIGATION STRATEGIES

116.70 ▼ ROOF  
113.60 ▼ 8th FLOOR  
110.50 ▼ 7th FLOOR  
107.40 ▼ 6th FLOOR  
104.30 ▼ 5th FLOOR  
101.20 ▼ 4th FLOOR  
98.10 ▼ 3rd FLOOR  
95.00 ▼ 2nd FLOOR  
91.90 ▼ 1st FLOOR  
88.80 ▼ GROUND UPPER  
85.70 ▼ GROUND LOWER

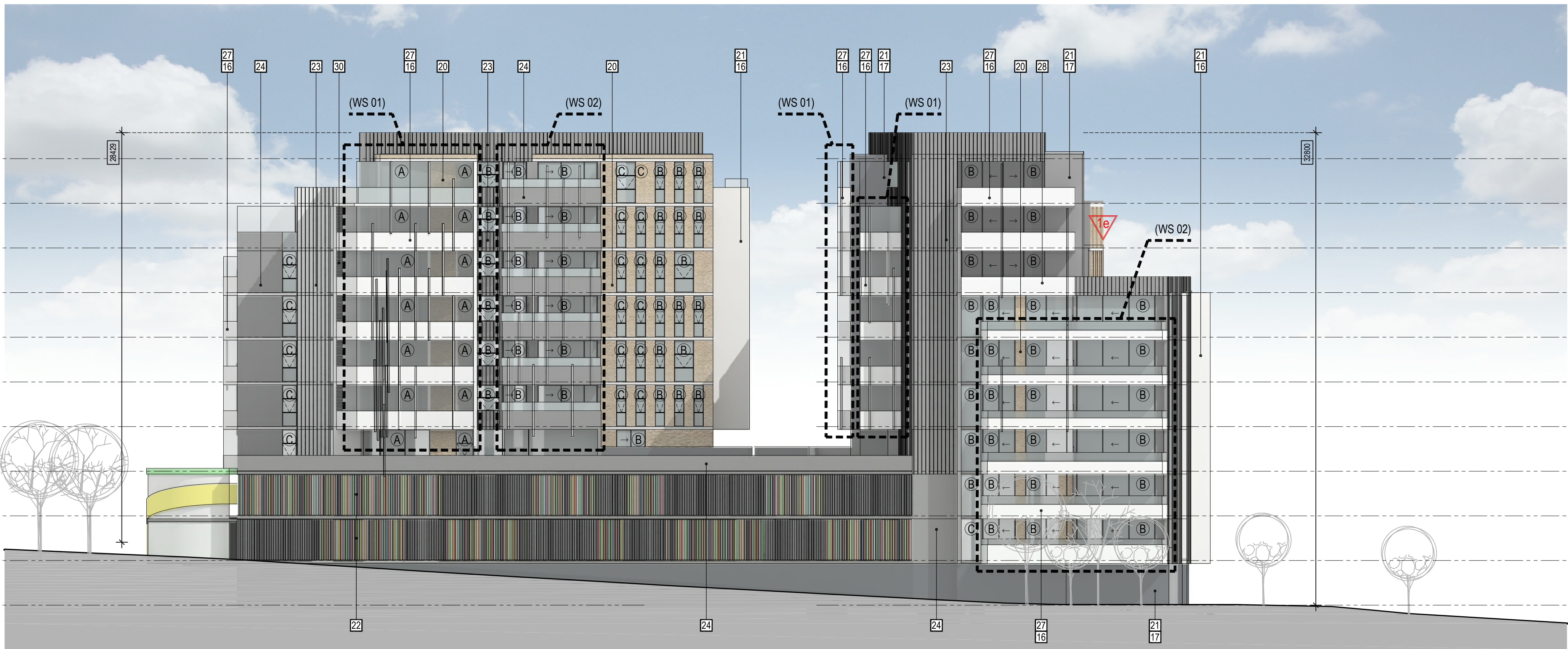


ELEVATION - 13

**1b** A DETAILED SCHEDULE OF ALL MATERIALS AND FINISHES  
INCLUDING SAMPLES, COLOURED ELEVATIONS AND  
PERSPECTIVES. THE FACADES OF THE TOWER BUILDINGS  
MUST CONFIRM THE GLASS AND OTHER REFLECTIVE  
MATERIALS MEET THE RELEVANT EPA STANDARD FOR  
GLARE.

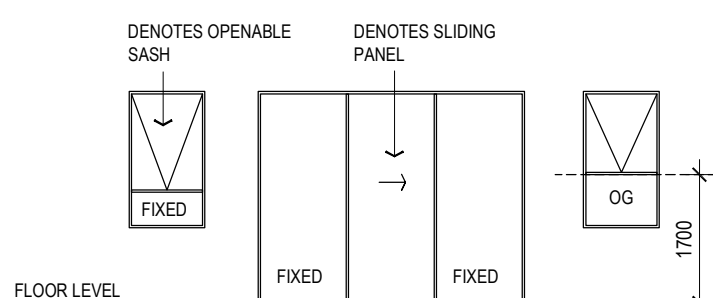
NOTE: GLAZING AND FACADE ELEMENTS TO THE TOWER TO  
BE IN ACCORDANCE WITH ANY BUILDING REGULATIONS  
RELATING TO EPA STANDARDS FOR GLARE.

116.70 ▼ ROOF  
113.60 ▼ 8th FLOOR  
110.50 ▼ 7th FLOOR  
107.40 ▼ 6th FLOOR  
104.30 ▼ 5th FLOOR  
101.20 ▼ 4th FLOOR  
98.10 ▼ 3rd FLOOR  
95.00 ▼ 2nd FLOOR  
91.90 ▼ 1st FLOOR  
88.80 ▼ GROUND UPPER  
85.70 ▼ GROUND LOWER



ELEVATION - 12

WINDOW CONFIGURATIONS



OG = OBSCURE FIXED GLAZING TO 1.7M HIGH  
(MINIMUM) ABOVE FLOOR LEVEL

GLAZING TYPES

- (A) 10.38/150/6  
(B) 10.38/100/6  
(C) 10.38/50/6  
(D) 6/12/10.38  
(E) 12.76 LAM  
(F) 6.38 LAM

REFER TO ACOUSTIC REPORT AS  
PREPARED BY SLR FOR FULL  
DESCRIPTION OF GLAZING TYPES

MATERIALS & COLOUR SCHEDULE - TOWER APARTMENTS

- 16 COLOUR TO MATCH  
DULUX NATURAL WHITE  
17 COLOUR TO MATCH  
COLOURBOND IRONSTONE  
18 COLOUR TO MATCH  
COLOURBOND WINDSPRAY  
METAL WORKS  
• CANOPY ROOFING  
• METAL WORKS  
• DOWNPIPES  
19 TIMBER LOOK PANNELLING  
CLADDING & BATTENS  
20 TEXTURED WALL 1  
21 TEXTURED WALL 2  
22 FEATURE WALL  
23 PRECAST WALL PANES  
REBATED SYSTEM  
24 PRECAST WALL PANELS  
25 VITRACORE G2  
LIGHT GREY  
26 VITRACORE G2  
WHITE  
27 BALUSTRADING  
SOLID AREAS  
28 BALUSTRADING  
GLAZED SYSTEM  
29 OUTDOOR TERRACES  
SCREENING PANELS  
30 METAL SCREENING

ALL NOTED HEIGHTS OF  
THE BUILDING ARE  
MEASURED FROM  
CORRESPONDING EXISTING  
NATURAL GROUND LEVELS

NOTE: ALL NOTED LEVELS  
ARE TO AUSTRALIAN  
HEIGHT DATUM (AHD)

REVISIONS:

No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWER ELEVATIONS

- INFORMATION -

DATE: MAR-18-19	SCALE: 1:200 @ A1 1:400 @ A3
DWG No: TB04	REV: P5 MAR 18 2019

SGOURAKIS  
ARCHITECTS  
2/400 GLENVIEW AVENUE  
T: 03 9551 9884  
INFO@SGOURAKISARCHITECTS.COM

**26** BEFORE THE PLANS ARE ENDORSED, AN AMENDED ACOUSTIC  
REPORT TO THE SATISFACTION OF THE RESPONSIBLE  
AUTHORITY MUST BE SUBMITTED TO AND APPROVED BY THE  
RESPONSIBLE AUTHORITY. WHEN APPROVED, THE AMENDED  
ACOUSTIC REPORT WILL BE ENDORSED AND WILL FORM PART  
OF THIS PERMIT. THE AMENDED ACOUSTIC REPORT MUST BE  
GENERALLY IN ACCORDANCE WITH THE ACOUSTIC REPORT  
PREPARED DURING THE APPLICATION PHASE OF THE PERMIT

**1e** REVISION OF THE WESTERN TOWER TO ACCORD WITH THE  
RECOMMENDATIONS MADE IN THE EVIDENCE OF CRAIG  
CZARNY GIVEN IN THE VCAT HEARING IN P2277/2016.



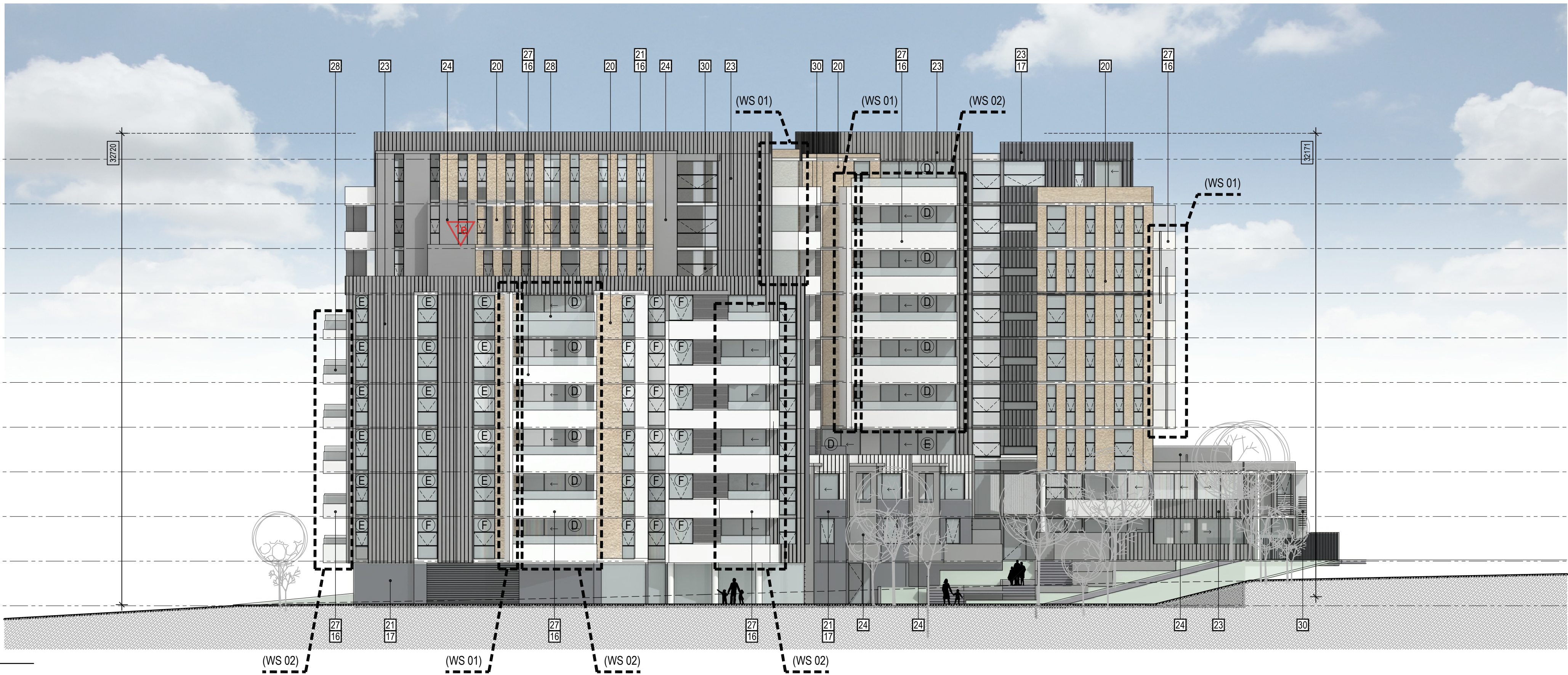
- WIND SCREENING TYPE
- (WS 01) FULL HEIGHT SCREEN (WS01):  
COMBINATION OF SOLID WALL  
AND/OR GLAZED PANELS
- (WS 02) 1.7M BALUSTRADE (WS02):  
COMBINATION OF SOLID WALL  
AND/OR GLAZED PANELS

REFER TO WIND ASSESSMENT REPORT  
AS PREPARED BY "MEL CONSULTANTS"  
FOR FURTHER DETAILS OF WIND  
MITIGATION STRATEGIES

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 28 of 40  
Date: 23/04/19

116.70 ▼ ROOF  
113.60 ▼ 8th FLOOR  
110.50 ▼ 7th FLOOR  
107.40 ▼ 6th FLOOR  
104.30 ▼ 5th FLOOR  
101.20 ▼ 4th FLOOR  
98.10 ▼ 3rd FLOOR  
95.00 ▼ 2nd FLOOR  
91.90 ▼ 1st FLOOR  
88.80 ▼ GROUND UPPER  
85.70 ▼ GROUND LOWER

ELEVATION - 15



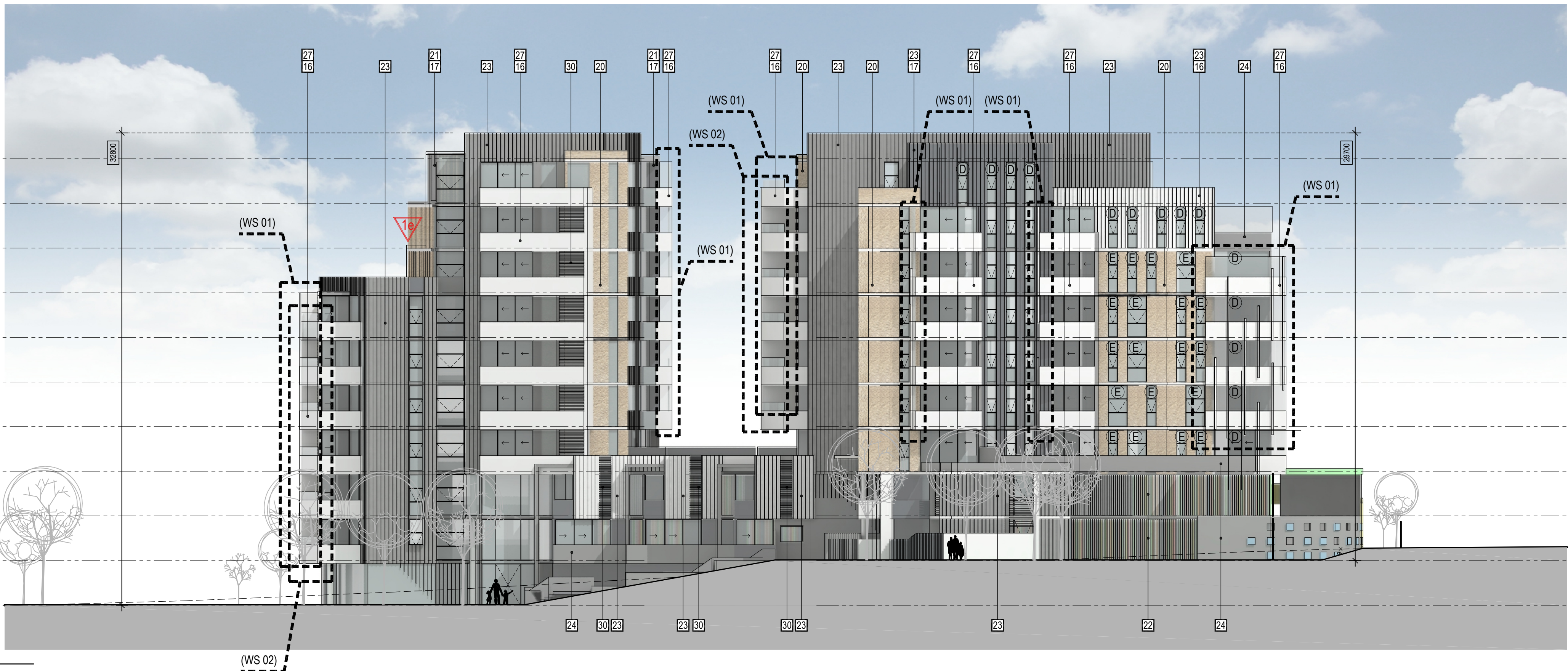
ROOF ▼ 116.70  
8th FLOOR ▼ 113.60  
7th FLOOR ▼ 110.50  
6th FLOOR ▼ 107.40  
5th FLOOR ▼ 104.30  
4th FLOOR ▼ 101.20  
3rd FLOOR ▼ 98.10  
2nd FLOOR ▼ 95.00  
1st FLOOR ▼ 91.90  
GROUND UPPER ▼ 88.80  
GROUND LOWER ▼ 85.70

1b A DETAILED SCHEDULE OF ALL MATERIALS AND FINISHES  
INCLUDING SAMPLES, COLOURED ELEVATIONS AND  
PERSPECTIVES. THE FACADES OF THE TOWER BUILDINGS  
MUST CONFIRM THE GLASS AND OTHER REFLECTIVE  
MATERIALS MEET THE RELEVANT EPA STANDARD FOR  
GLARE.

NOTE: GLAZING AND FACADE ELEMENTS TO THE TOWER TO  
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RELATING TO EPA STANDARDS FOR GLARE.

116.70 ▼ ROOF  
113.60 ▼ 8th FLOOR  
110.50 ▼ 7th FLOOR  
107.40 ▼ 6th FLOOR  
104.30 ▼ 5th FLOOR  
101.20 ▼ 4th FLOOR  
98.10 ▼ 3rd FLOOR  
95.00 ▼ 2nd FLOOR  
91.90 ▼ 1st FLOOR  
88.80 ▼ GROUND UPPER  
85.70 ▼ GROUND LOWER

ELEVATION - 14

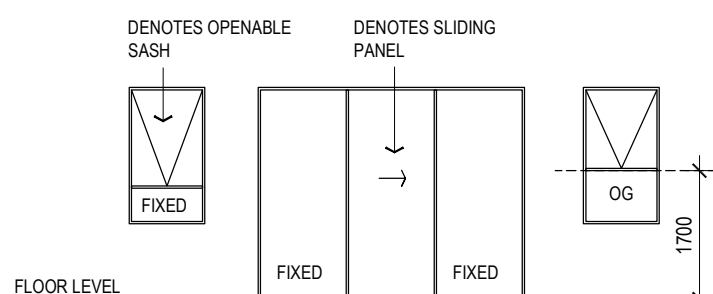


ROOF ▼ 116.70  
8th FLOOR ▼ 113.60  
7th FLOOR ▼ 110.50  
6th FLOOR ▼ 107.40  
5th FLOOR ▼ 104.30  
4th FLOOR ▼ 101.20  
3rd FLOOR ▼ 98.10  
2nd FLOOR ▼ 95.00  
1st FLOOR ▼ 91.90  
GROUND UPPER ▼ 88.80  
GROUND LOWER ▼ 85.70

26 BEFORE THE PLANS ARE ENDORSED, AN AMENDED ACOUSTIC  
REPORT TO THE SATISFACTION OF THE RESPONSIBLE  
AUTHORITY MUST BE SUBMITTED TO AND APPROVED BY THE  
RESPONSIBLE AUTHORITY. WHEN APPROVED, THE AMENDED  
ACOUSTIC REPORT WILL BE ENDORSED AND WILL FORM PART  
OF THIS PERMIT. THE AMENDED ACOUSTIC REPORT MUST BE  
GENERALLY IN ACCORDANCE WITH THE ACOUSTIC REPORT  
PREPARED DURING THE APPLICATION PHASE OF THE PERMIT

1e REVISION OF THE WESTERN TOWER TO ACCORD WITH THE  
RECOMMENDATIONS MADE IN THE EVIDENCE OF CRAIG  
CZARNY GIVEN IN THE VCAT HEARING IN P2277/2016.

WINDOW CONFIGURATIONS



OG = OBSCURE FIXED GLAZING TO 1.7M HIGH  
(MINIMUM) ABOVE FLOOR LEVEL

GLAZING TYPES

- (A) 10.38/150/6  
(B) 10.38/100/6  
(C) 10.38/50/6  
(D) 6/12/10.38  
(E) 12.76 LAM  
(F) 6.38 LAM

REFER TO ACOUSTIC REPORT AS  
PREPARED BY SLR FOR FULL  
DESCRIPTION OF GLAZING TYPES

MATERIALS & COLOUR SCHEDULE - TOWER APARTMENTS

- 16 COLOUR TO MATCH  
DULUX NATURAL WHITE  
17 COLOUR TO MATCH  
COLOURBOND IRONSTONE  
18 COLOUR TO MATCH  
COLOURBOND WINDSPRAY  
METAL WORKS  
• CANOPY ROOFING  
• METAL WORKS  
• DOWNPIPES  
19 TIMBER LOOK PANNELLING  
CLADDING & BATTENS  
20 TEXTURED WALL 1  
21 TEXTURED WALL 2  
22 FEATURE WALL  
23 PRECAST WALL PANES  
REBATED SYSTEM  
24 PRECAST WALL PANELS  
25 VITRACORE G2  
LIGHT GREY  
26 VITRACORE G2  
WHITE  
27 BALUSTRADING  
SOLID AREAS  
28 BALUSTRADING  
GLAZED SYSTEM  
29 OUTDOOR TERRACES  
SCREENING PANELS  
30 METAL SCREENING

ALL NOTED HEIGHTS OF  
THE BUILDING ARE  
MEASURED FROM  
CORRESPONDING EXISTING  
NATURAL GROUND LEVELS

NOTE: ALL NOTED LEVELS  
ARE TO AUSTRALIAN  
HEIGHT DATUM (AHD)

REVISIONS:

No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

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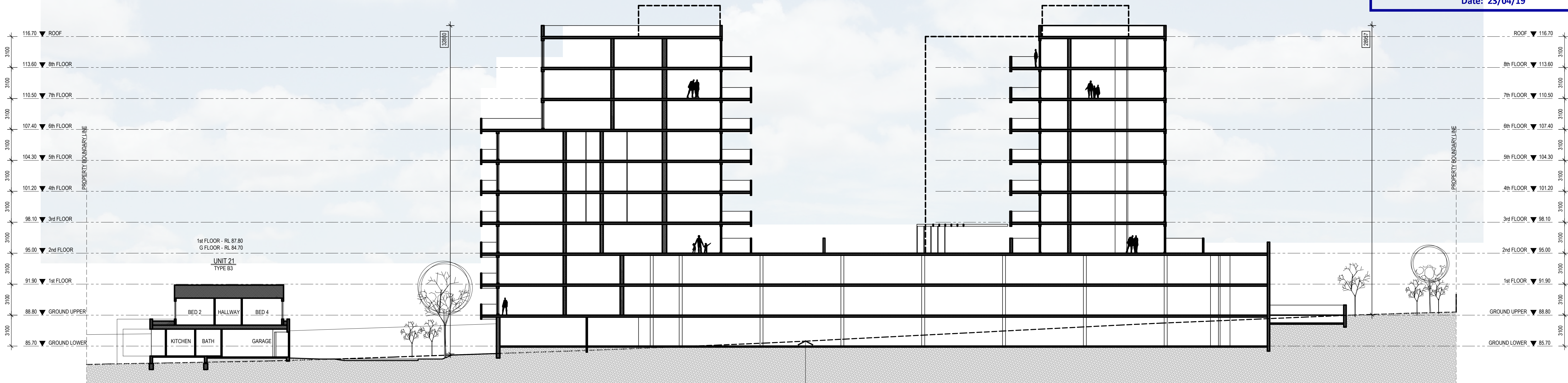
PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
TOWER ELEVATIONS

- INFORMATION -

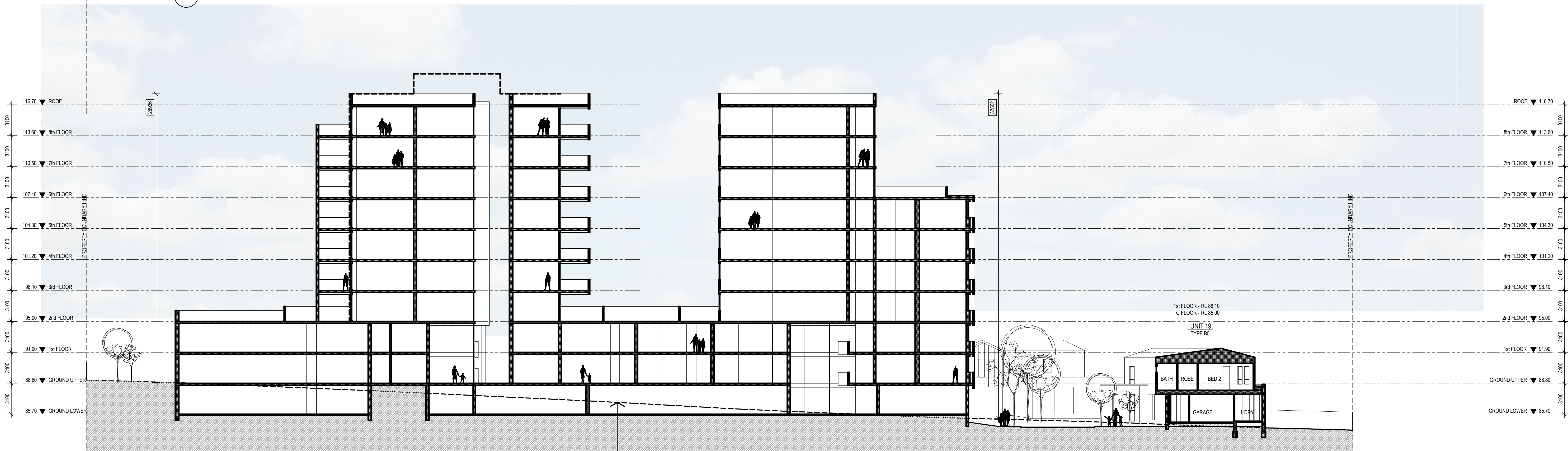
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DWG No: TB05	REV: P5 MAR 18 2019

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SITE SECTION - A



SITE SECTION - B

NOTE: ALL NOTED LEVELS ARE TO  
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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
SECTIONAL VIEWS

- INFORMATION -			
DATE:	SCALE:		
MAR-18-19	1:200 @ A1		
DWG No:	REV:		
TB06	P5	MAR 18 2019	

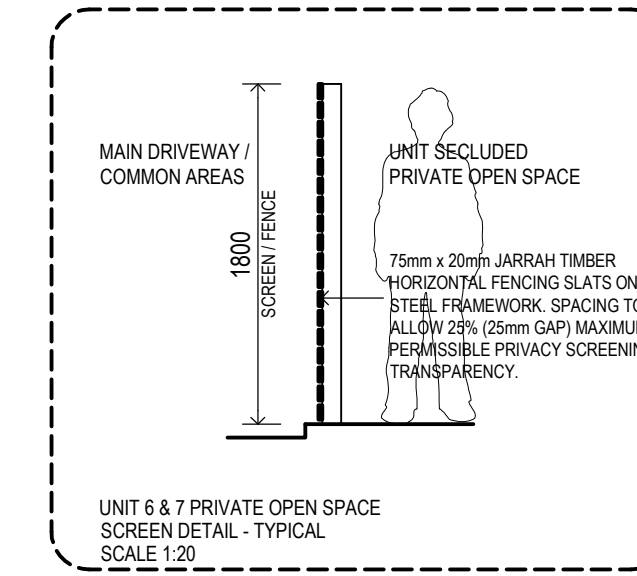
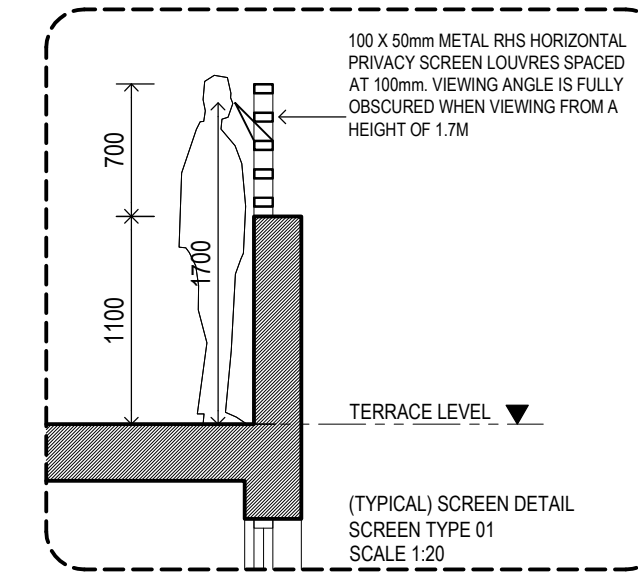
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2/40 KINGSWAY, ABBOTSFORD VIC 3067  
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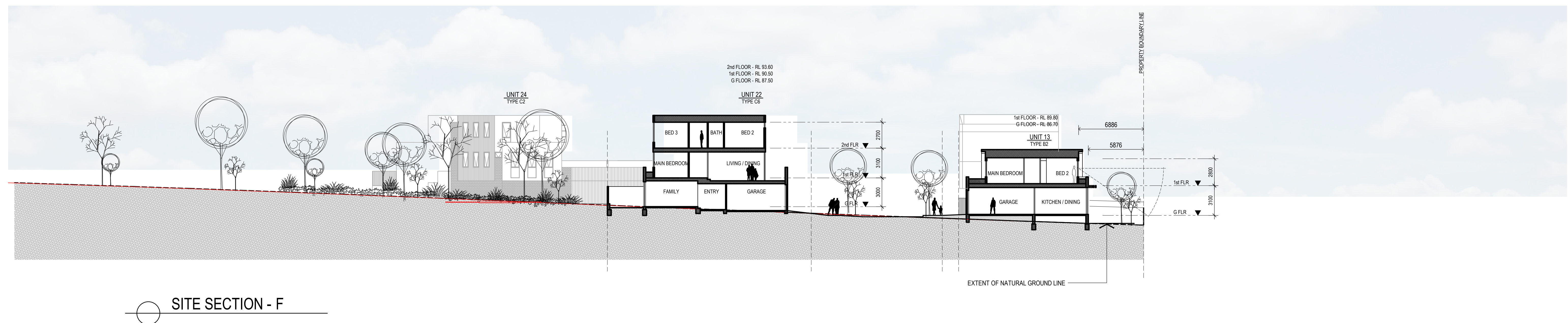


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DWG No: TB07	REV: P5 MAR 18 2019





PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 31 of 40  
Date: 23/04/19



NOTE: ALL NOTED LEVELS ARE TO  
AUSTRALIAN HEIGHT DATUM (AHD)

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
P5	18-03-2019	Response to Council RFIs	

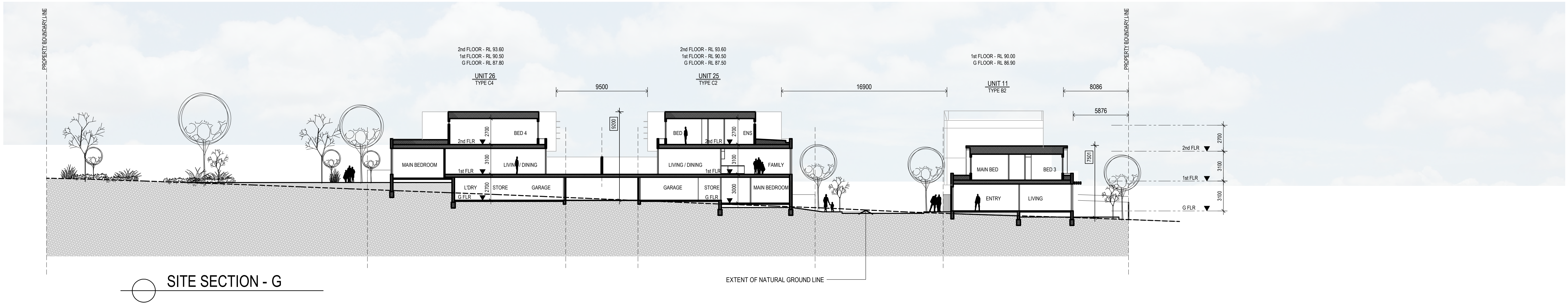
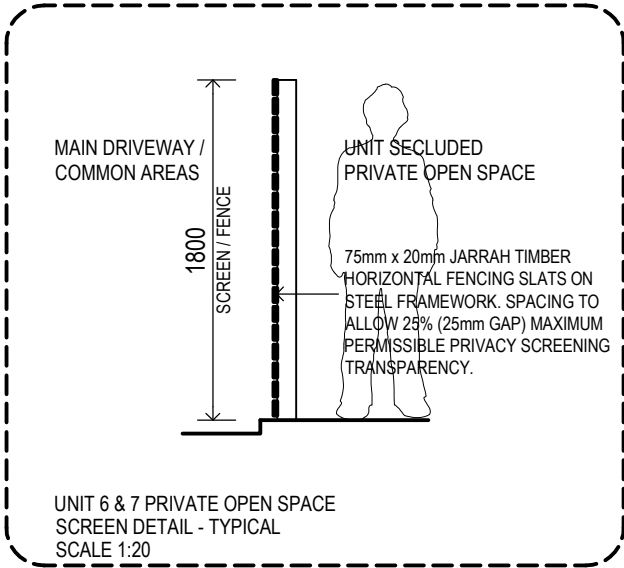
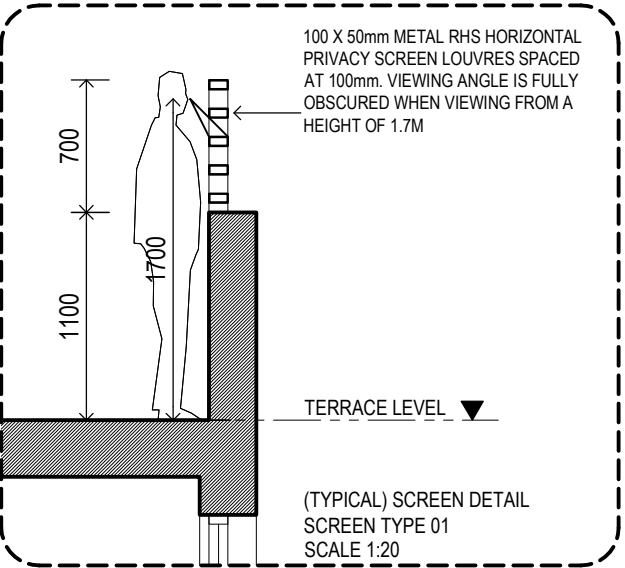
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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
SECTIONAL VIEWS

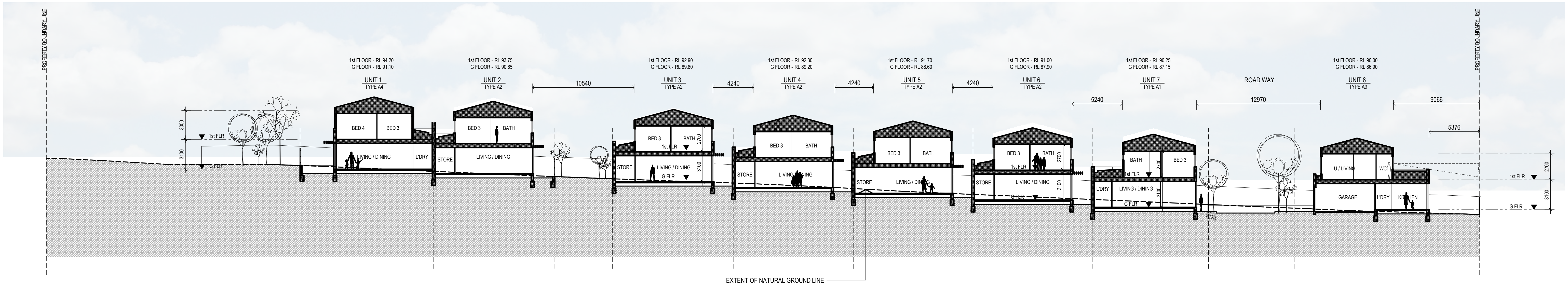
- INFORMATION -			
DATE:	SCALE:		
MAR-18-19	1:200 @ A1		
DWG No:	REV:		
TB08	P5	MAR 18 2019	

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SITE SECTION - G

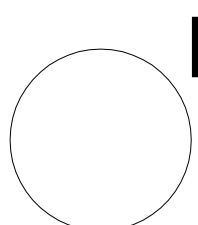


SITE SECTION - H

NOTE: ALL NOTED LEVELS ARE TO  
AUSTRALIAN HEIGHT DATUM (AHD)

REVISIONS:			
No	Date	Description	By
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P5	18-03-2019	Response to Council RFIs	

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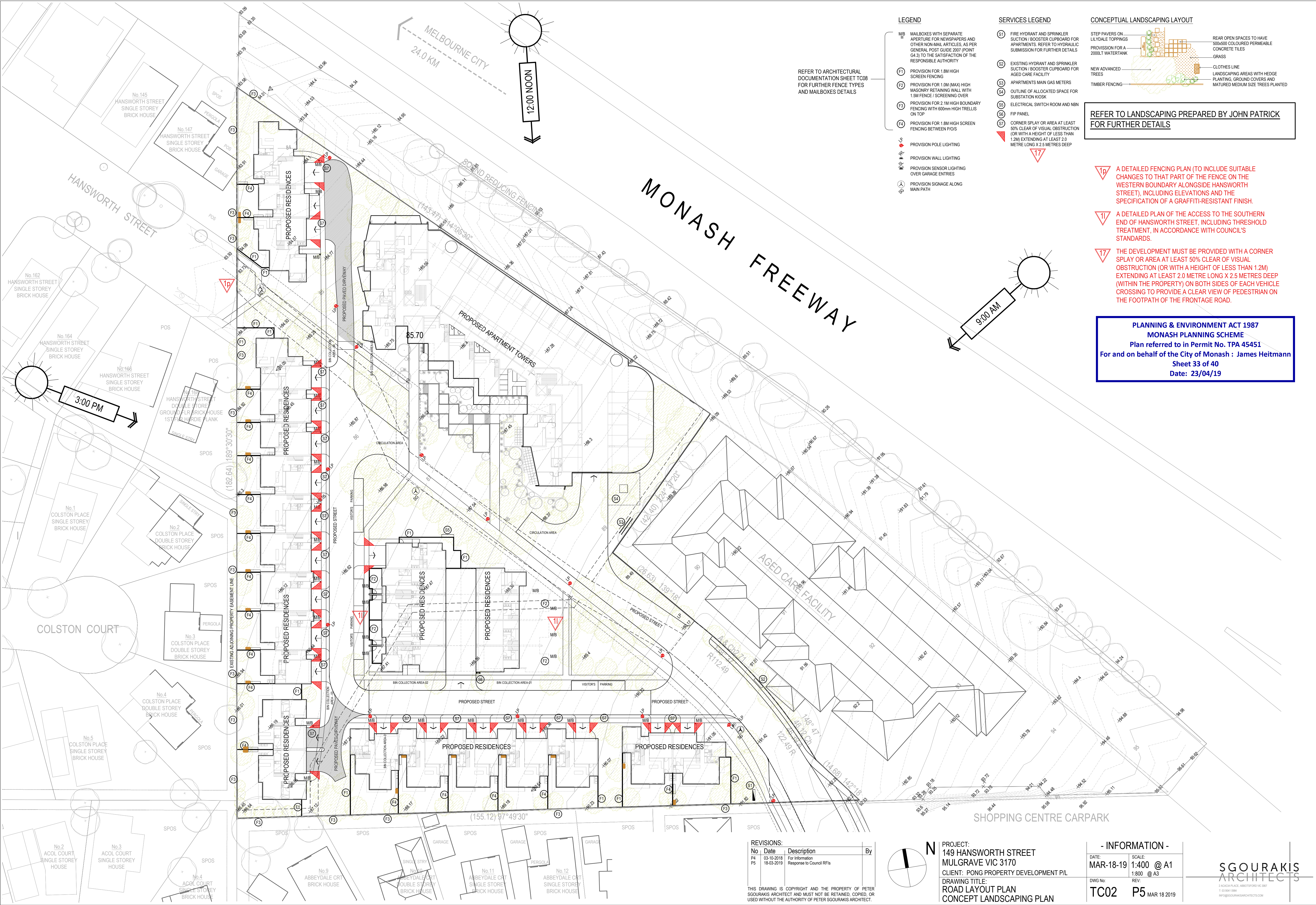


PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
SECTIONAL VIEWS

- INFORMATION -  
DATE: MAR-18-19  
SCALE: 1:200 @ A1  
1:400 @ A3  
DWG No: TB09  
P5  
MAR 18 2019

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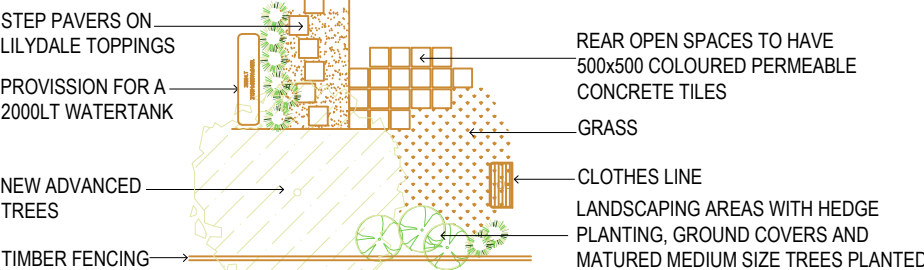
LEGEND

- MB MAILBOXES WITH SEPARATE APERTURE FOR NEWSPAPERS AND OTHER NON-MAIL ARTICLES. AS PER GENERAL POST GUIDE 2007 (POINT 04.3) TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY
- F1 PROVISION FOR 1.8M HIGH SCREEN FENCING
- F2 PROVISION FOR 1.0M (MAX) HIGH MASONRY RETAINING WALL WITH 1.5M FENCE / SCREENING OVER
- F3 PROVISION FOR 2.1M HIGH BOUNDARY FENCING WITH 600mm HIGH TRELLIS ON TOP
- F4 PROVISION FOR 1.8M HIGH SCREEN FENCING BETWEEN PLOTS
- LP PROVISION POLE LIGHTING
- WP PROVISION WALL LIGHTING
- SP PROVISION SENSOR LIGHTING OVER GARAGE ENTRIES
- PS PROVISION SIGNAGE ALONG MAIN PATH

SERVICES LEGEND

- S1 FIRE HYDRANT AND SPRINKLER SUCTION / BOOSTER CUPBOARD FOR APARTMENTS. REFER TO HYDRAULIC SUBMISSION FOR FURTHER DETAILS
- S2 EXISTING HYDRANT AND SPRINKLER SUCTION / BOOSTER CUPBOARD FOR AGED CARE FACILITY
- S3 APARTMENTS MAIN GAS METERS
- S4 OUTLINE OF ALLOCATED SPACE FOR SUBSTATION KIOSK
- S5 ELECTRICAL SWITCH ROOM AND NBN
- S6 FIP PANEL
- S7 CORNER SPLAY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTION (OR WITH A HEIGHT OF LESS THAN 1.2M) EXTENDING AT LEAST 2.0 METRE LONG X 2.5 METRES DEEP

CONCEPTUAL LANDSCAPING LAYOUT



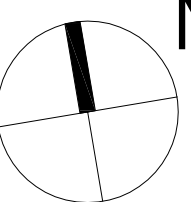
REFER TO LANDSCAPING PREPARED BY JOHN PATRICK FOR FURTHER DETAILS

- 1p A DETAILED FENCING PLAN (TO INCLUDE SUITABLE CHANGES TO THAT PART OF THE FENCE ON THE WESTERN BOUNDARY ALONGSIDE HANSWORTH STREET), INCLUDING ELEVATIONS AND THE SPECIFICATION OF A GRAFFITI-RESISTANT FINISH.
- 1l A DETAILED PLAN OF THE ACCESS TO THE SOUTHERN END OF HANSWORTH STREET, INCLUDING THRESHOLD TREATMENT, IN ACCORDANCE WITH COUNCIL'S STANDARDS.
- 17 THE DEVELOPMENT MUST BE PROVIDED WITH A CORNER SPLAY OR AREA AT LEAST 50% CLEAR OF VISUAL OBSTRUCTION (OR WITH A HEIGHT OF LESS THAN 1.2M) EXTENDING AT LEAST 2.0 METRE LONG X 2.5 METRES DEEP (WITHIN THE PROPERTY) ON BOTH SIDES OF EACH VEHICLE CROSSING TO PROVIDE A CLEAR VIEW OF PEDESTRIAN ON THE FOOTPATH OF THE FRONTAGE ROAD.

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 33 of 40  
Date: 23/04/19

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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
ROAD LAYOUT PLAN  
CONCEPT LANDSCAPING PLAN

- INFORMATION -			
DATE:	MAR-18-19	SCALE:	1:400 @ A1
DWG No:	TC02	REV:	1:800 @ A3
	P5		MAR 18 2019

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2 JACKSON PLACE, MULGRAVE VIC 3170  
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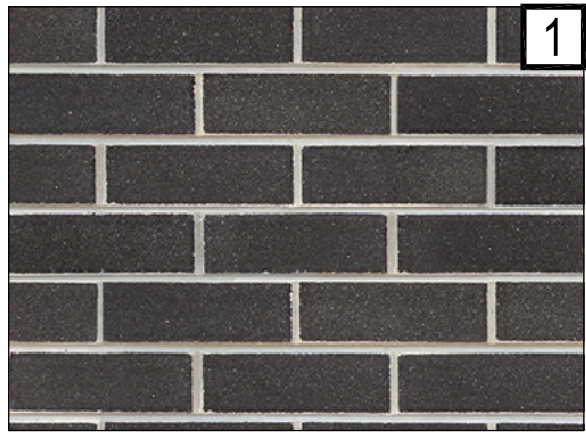


MATERIALS & COLOUR SCHEDULE - RESIDENTIAL UNITS

GARAGE DOOR TYPES



FACE BRICKWORK



1 BRAHMAN GRANITE  
- BRICK WORK 1  
BOWRAL BRICKS OR  
SIMILAR



2 SIMMENTAL SILVER  
- BRICK WORK 2  
BOWRAL BRICKS OR  
SIMILAR

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 34 of 40  
Date: 23/04/19

JAMES HARDIE FC SHEET WALL PANELS SELECT PAINT FINISH



TEXTURED WALL PANELS  
SELECT PAINT FINISH

TIMBER FINISH EXTERNAL CLADDING (11)

REBATED VERTICAL WALL PANELS  
SELECT PAINT FINISH

EXTENDED SILL SURROUND TO  
WINDOWS

FC SHEET "EXPRESSED-JOINT"  
WALL PANELS SELECT PAINT FINISH

ALUMINIUM WINDOW  
FRAMING

- RENDERED SURFACES
- REBATED CLADDING
- FC SHEET PANELS

3 DULUX NATURAL WHITE

4 DULUX GUILD GREY

5 DULUX WHITE DUCK



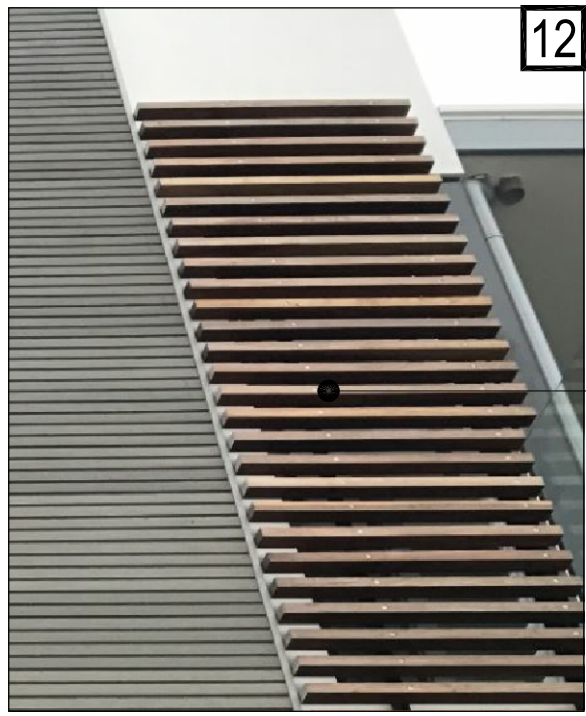
- WINDOWS FRAMES



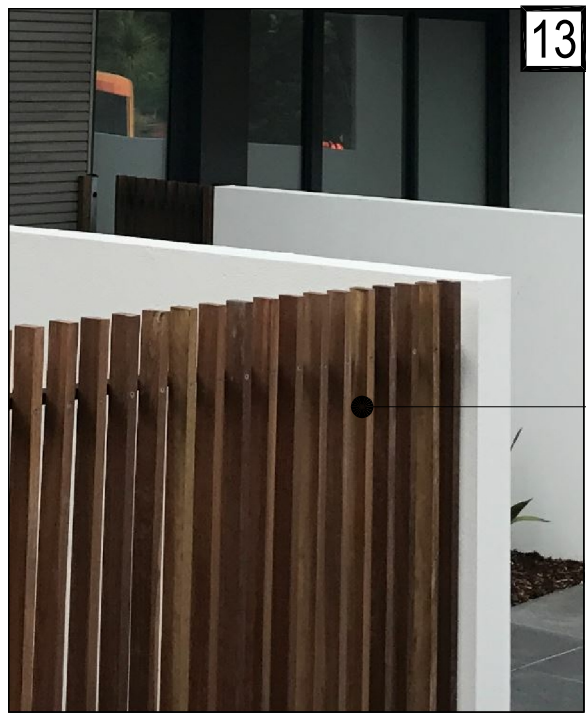
- CANOPY ROOFING
- METAL WORKS
- DOWN PIPES

6 COLORBOND IRONSTONE

7 COLORBOND WINDSPRAY



HORIZONTAL WINDOW SCREENING  
TIMBER FINISH  
SCULPTFORM CONCEPT CLICK  
SCREENING SYSTEM OR SIMILAR



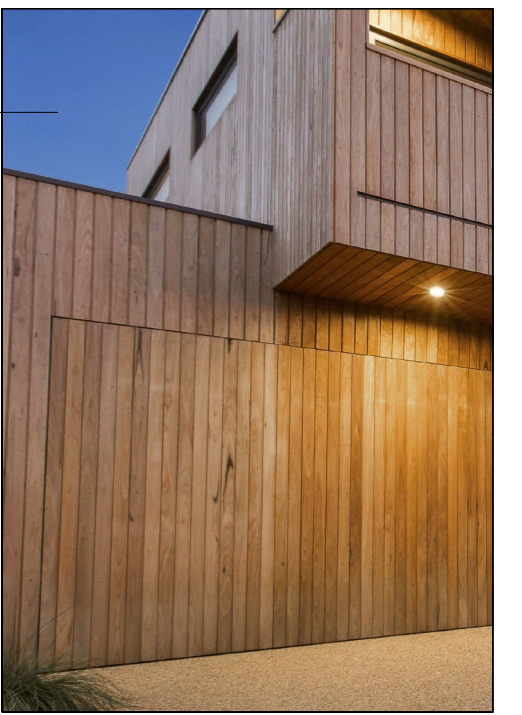
TIMBER (TIMBER LOOK) OR METAL UPRIGHT  
BATTEN SCREEN FENCING TO COURTYARD  
AREA TO ACHIEVE 25% SCREENING  
SCULPTFORM CONCEPT CLICK  
SCREENING SYSTEM OR SIMILAR



PICTURE FRAMING FACADE TO  
TERRACE UNITS WITH VERTICAL  
SCREENING



11 TIMBER FINISH  
- EXTERNAL CLADDING  
- EXTERNAL SCREENING  
RADIAL TIMBER SHIPLAP  
FACADE SYSTEM OR  
SIMILAR  
SCULPTFORM CONCEPT  
CLICK SCREENING SYSTEM  
OR SIMILAR



A DETAILED SCHEDULE OF ALL MATERIALS AND FINISHES  
INCLUDING SAMPLES, COLOURED ELEVATIONS AND  
PERSPECTIVES. THE FACADES OF THE TOWER BUILDINGS  
MUST CONFIRM THE GLASS AND OTHER REFLECTIVE  
MATERIALS MEET THE RELEVANT EPA STANDARD FOR  
GLARE.  
NOTE: GLAZING AND FACADE ELEMENTS TO THE TOWER TO  
BE IN ACCORDANCE WITH ANY BUILDING REGULATIONS  
RELATING TO EPA STANDARDS FOR GLARE.

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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
MATERIALS & COLOUR  
SCHEDULE - RESIDENTIAL UNITS

- INFORMATION -			
DATE:	SCALE:		
MAR-18-19	@ A1		
DWG No:	REV:		
TC05	P5	MAR 18 2019	

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MATERIALS & COLOUR SCHEDULE - TOWER APARTMENTS

DULUX NATURAL WHITE



COLORBOND IRONSTONE



COLORBOND WINDSPRAY




- CANOPY ROOFING
- METAL WORKS
- DOWN PIPES

TIMBER FINISH


- EXTERNAL CLADDING
- EXTERNAL SCREENING

SCULPTFORM CONCEPT  
CLICK SCREENING SYSTEM  
OR SIMILAR



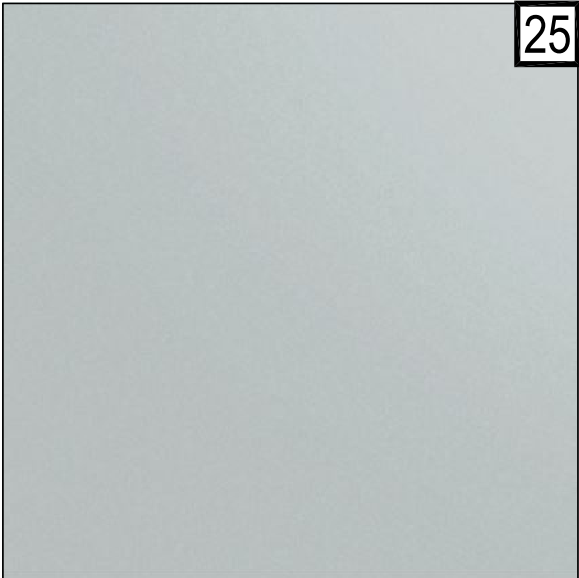
20 TEXTURED WALL 1

- TOWER WALLS  
FEATURE TEXTURED  
PANEL WALL SURFACE -  
COLOUR TO MATCH  
DULUX STONEBREAD  
S15E2 (OR APPROVED  
EQUIVALENT)



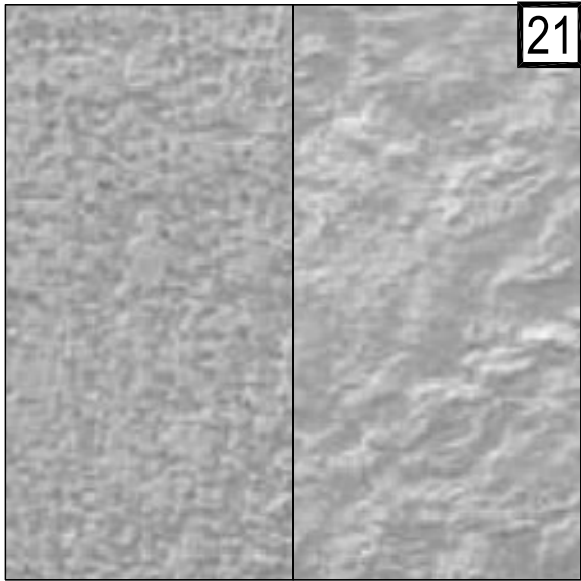
25 VITRACORE - G2  
LIGHT GREY

- CLADDING / LINING TO  
CANOPY AND ASSOCIATED  
ENTRANCE STRUCTURE



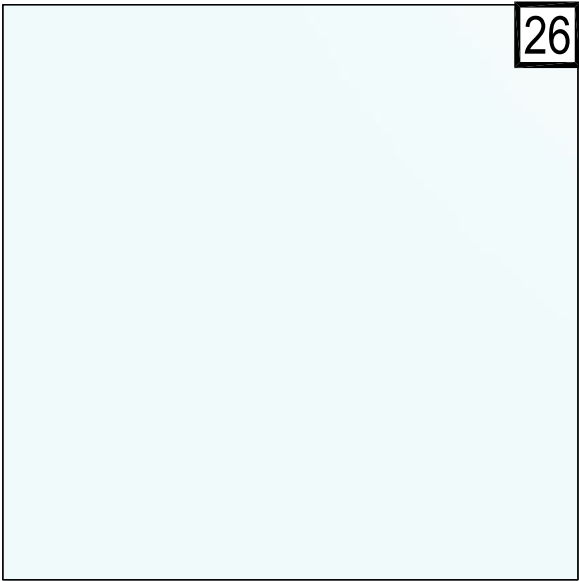
21 TEXTURED WALL 2

- TOWER WALLS  
APPLIED DULUX ACRATEX  
FINISH (OR APPROVED  
EQUIVALENT) TO NOTED  
COLOUR



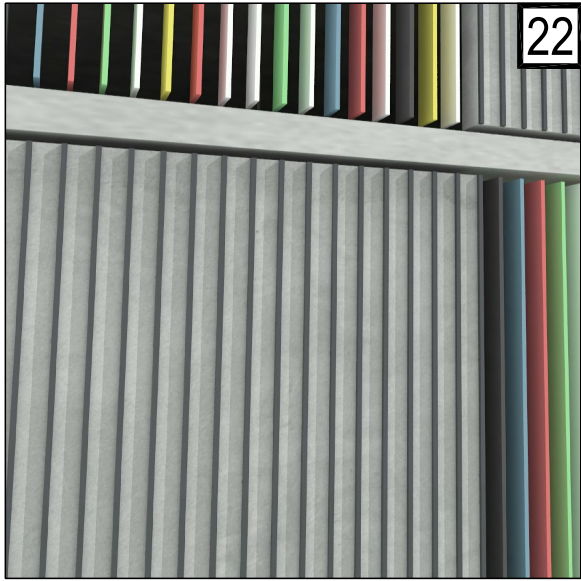
26 VITRACORE - G2  
WHITE

- CLADDING / LINING TO  
CANOPY AND ASSOCIATED  
ENTRANCE STRUCTURE



22 FEATURE WALL

- EXTERNAL FEATURE WALL  
CAR PARKING PODIUM  
MULTI-COLOURED  
BLADE/BATTEN LOUVRED  
FACADE SYSTEM



27

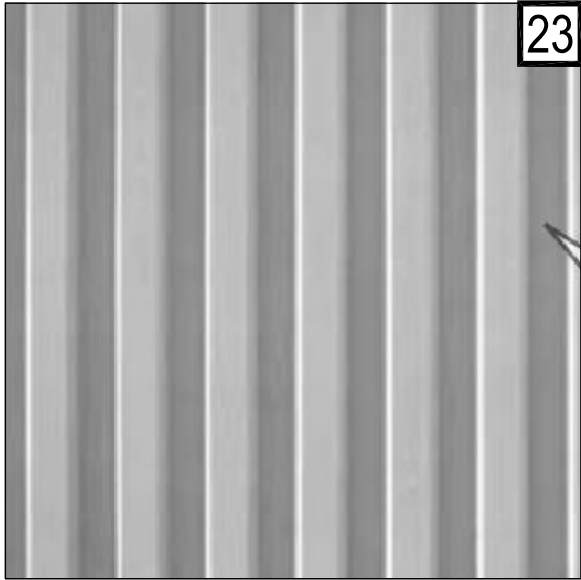


28

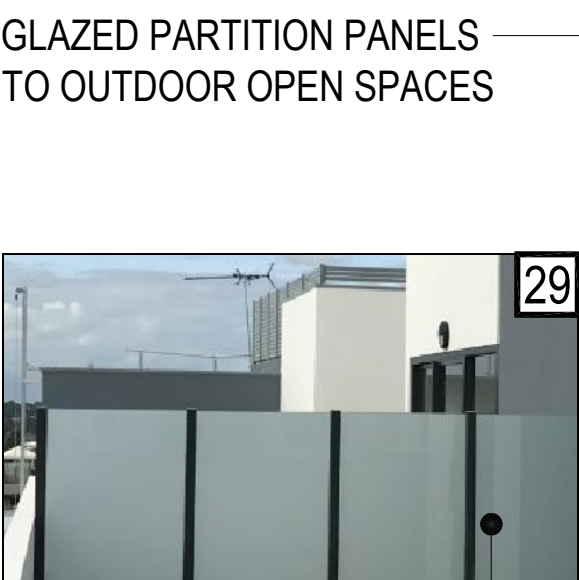


23 PRECAST PANELS

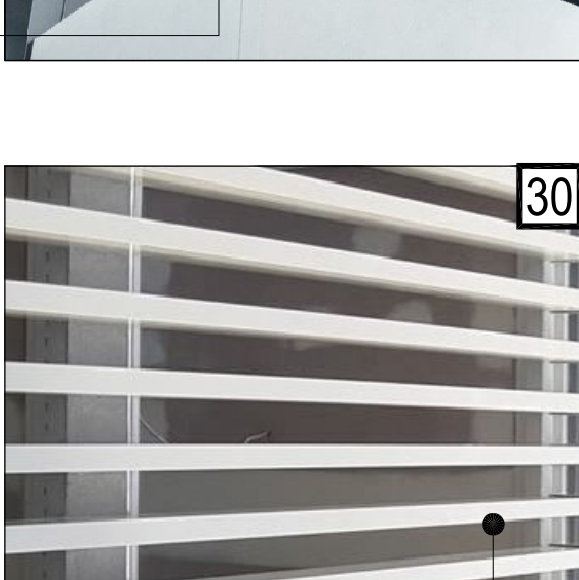
- TOWER WALLS (RIBBED)  
NATURAL CONCRETE FINISH  
(UNLESS NOTED OTHERWISE)




29



30



24



PRECAST WALL PANELS  
RENDERED FINISH /  
NATURAL FINISH



16 A DETAILED SCHEDULE OF ALL MATERIALS AND FINISHES INCLUDING SAMPLES, COLOURED ELEVATIONS AND PERSPECTIVES. THE FACADES OF THE TOWER BUILDINGS MUST CONFIRM THE GLASS AND OTHER REFLECTIVE MATERIALS MEET THE RELEVANT EPA STANDARD FOR GLARE.

NOTE: GLAZING AND FACADE ELEMENTS TO THE TOWER TO BE IN ACCORDANCE WITH ANY BUILDING REGULATIONS RELATING TO EPA STANDARDS FOR GLARE.

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For information	
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N PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
MATERIALS & COLOUR  
SCHEDULE - TOWERS

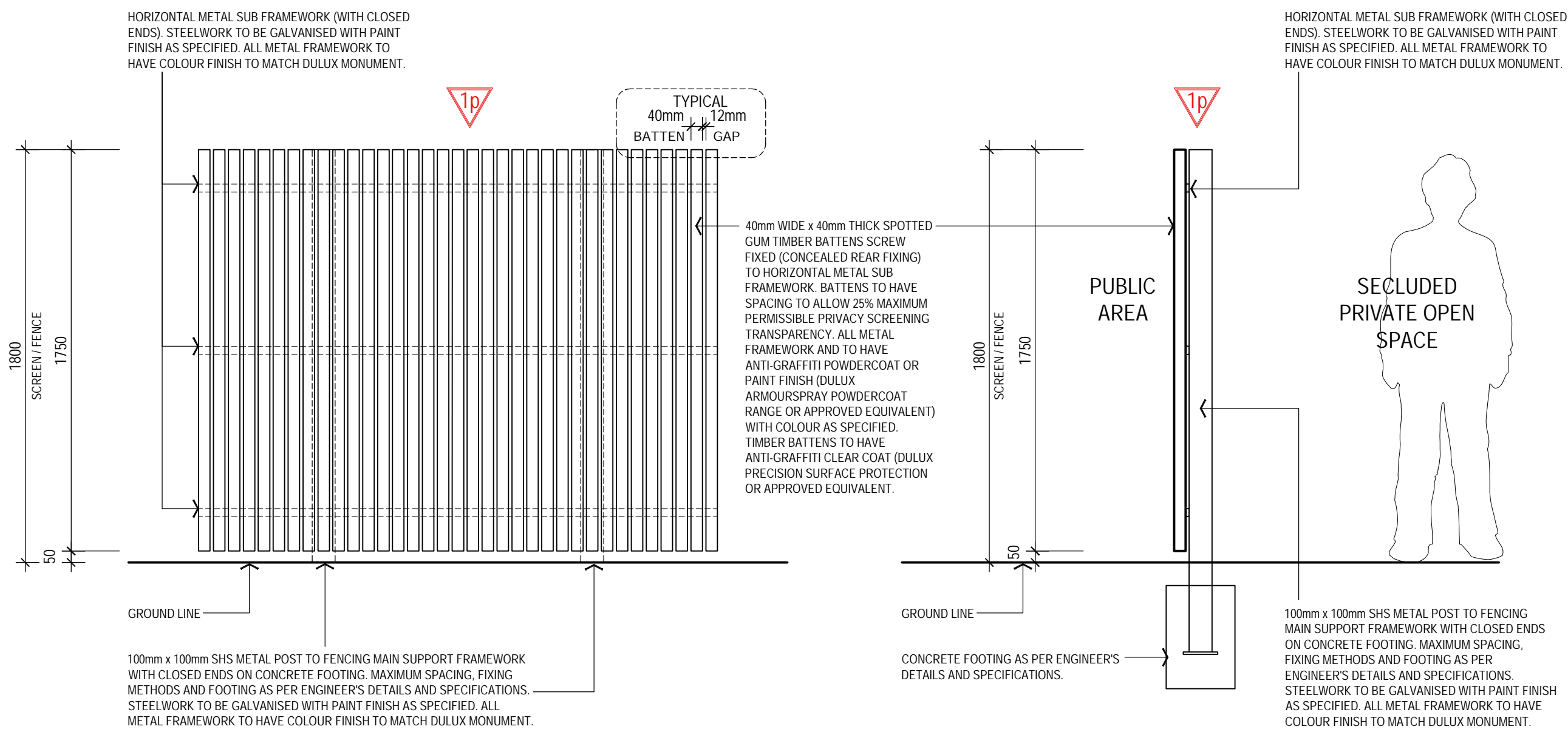
- INFORMATION -			
DATE:	MAR-18-19	SCALE:	@ A1 @ A3
DWG No:	TC05a	REV:	P5
			MAR 18 2019

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MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 35 of 40  
Date: 23/04/19

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2/40 GLENVIEW PLACE, MULGRAVE VIC 3170  
T: 03 9551 9584  
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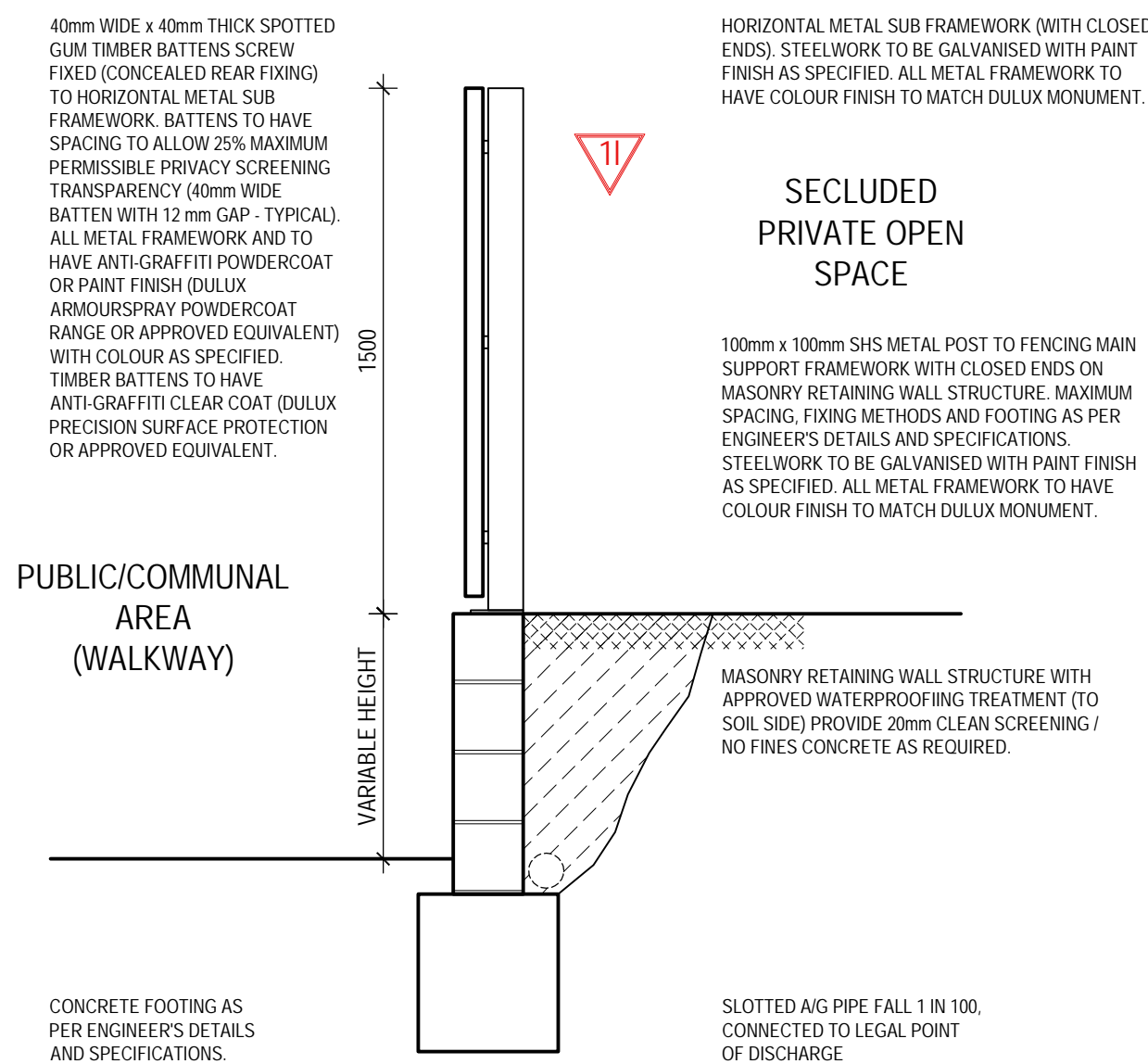




FENCING TYPE - F1  
ELEVATION (VIEW FROM PUBLIC/COMMUNAL AREA)  
SCALE 1:20

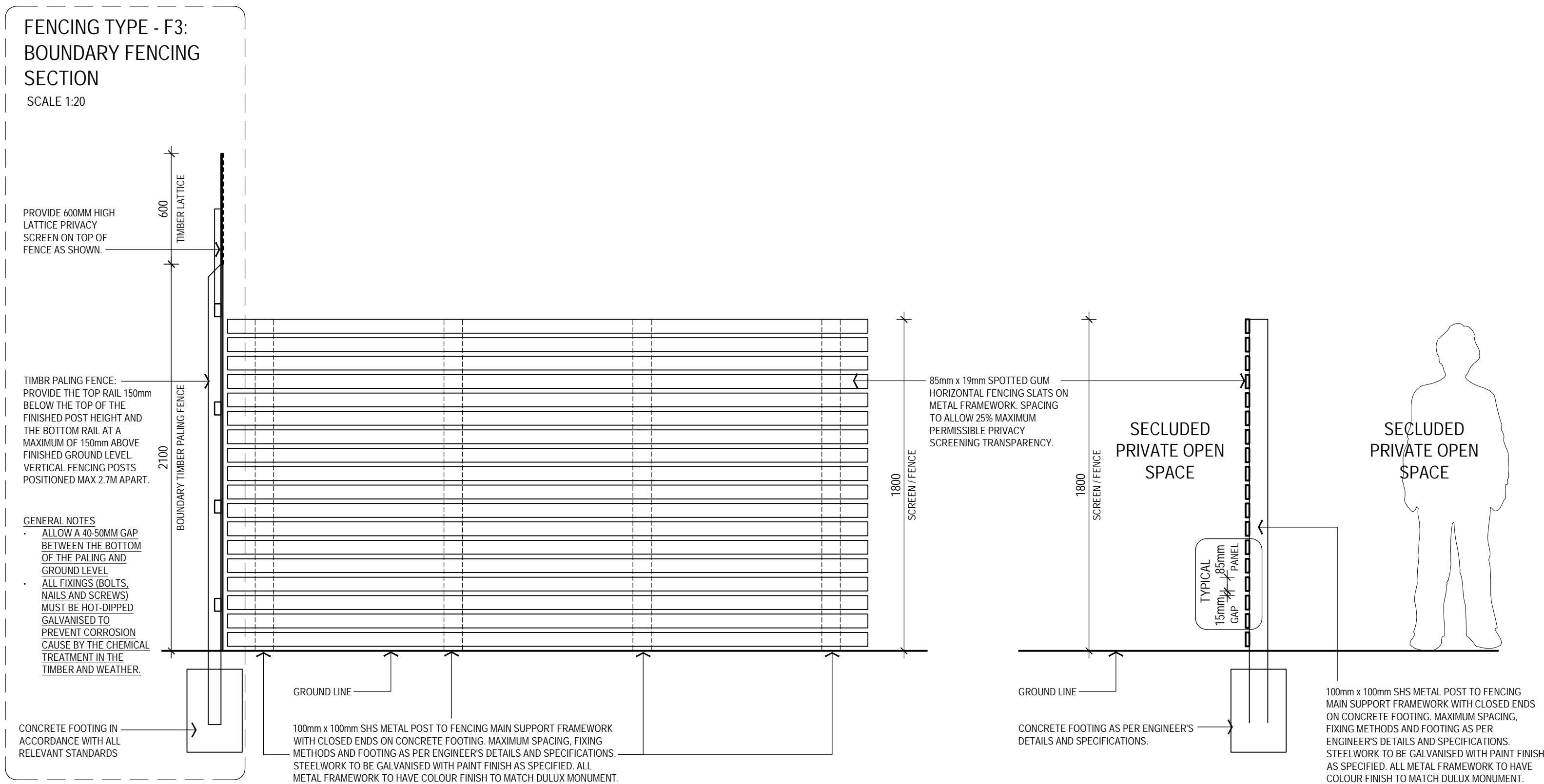
FENCING TYPE - F1  
SECTION  
SCALE 1:20

A DETAILED FENCING PLAN (TO INCLUDE SUITABLE CHANGES TO THAT PART OF THE FENCE ON THE WESTERN BOUNDARY ALONGSIDE HANSWORTH STREET), INCLUDING ELEVATIONS AND THE SPECIFICATION OF A GRAFFITI-RESISTANT FINISH.



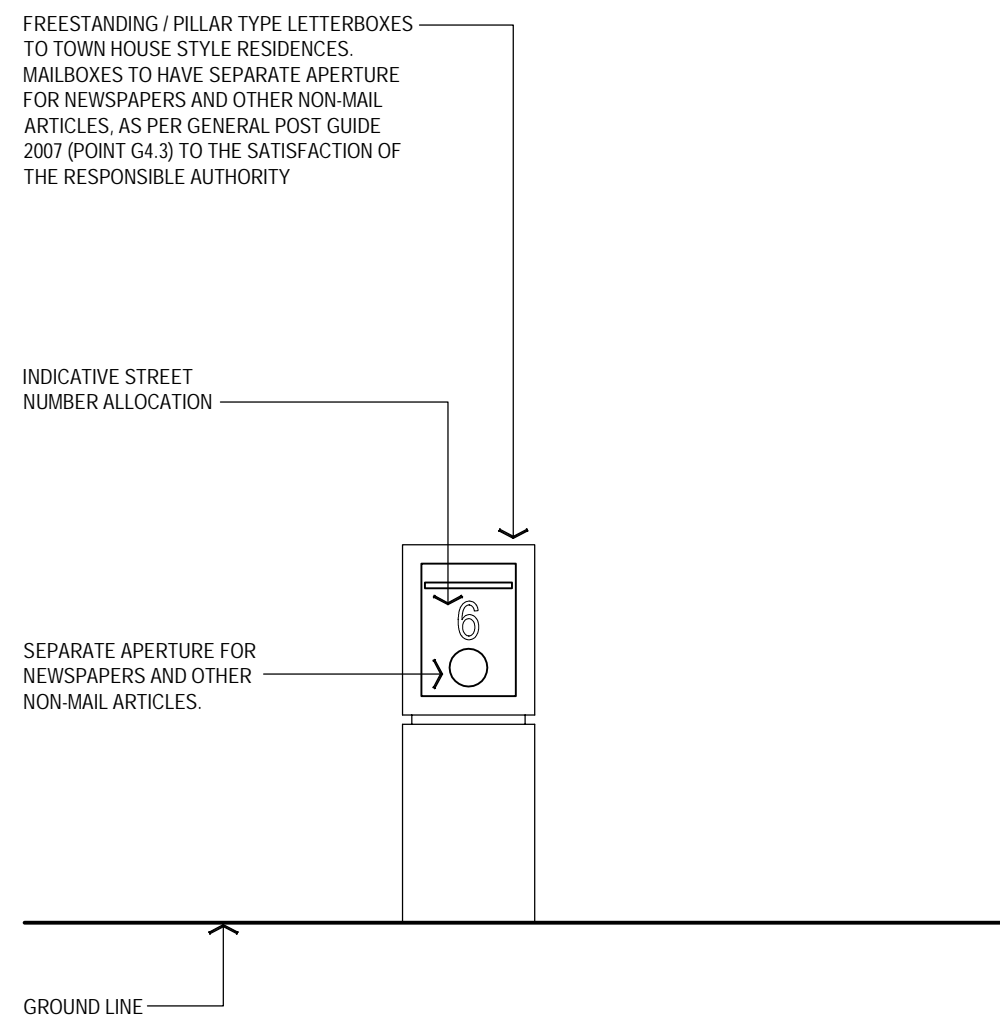
FENCING TYPE - F2  
SECTION  
SCALE 1:20

A DETAILED PLAN OF THE ACCESS TO THE SOUTHERN END OF HANSWORTH STREET, INCLUDING THRESHOLD TREATMENT, IN ACCORDANCE WITH COUNCIL'S STANDARDS.



FENCING TYPE - F4  
ELEVATION  
SCALE 1:20

FENCING TYPE - F4  
ELEVATION  
SCALE 1:20

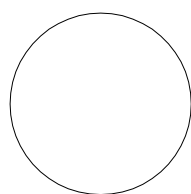


M/B - MAILBOX  
ELEVATION (INDICATIVE ONLY)  
SCALE 1:20

<b>G4.3.2 – SIZE OF MAIL BOXES</b> AUSTRALIA POST DELIVERS ONLY INTO MAIL BOXES OF AN APPROVED SIZE. MAIL BOX APERTURES MAY BE EITHER HORIZONTAL OR VERTICAL. AUSTRALIA POST RECOMMENDS A SEPARATE APERTURE, BOX OR TUBE TO ACCOMMODATE NEWSPAPERS AND NONMAIL ARTICLES. DIMENSION INTERNAL DEPTH (FRONT TO BACK) AT LEAST 330 MM INTERNAL HEIGHT AT LEAST 160 MM HORIZONTAL APERTURE AT LEAST 230 MM X 30 MM. AT LEAST 130 MM ABOVE INTERNAL BASE VERTICAL APERTURE AT LEAST 330 MM X 30 MM. AT LEAST 40 MM ABOVE INTERNAL BASE ELEVATION OF APERTURE ABOVE GROUND LEVEL SINGLE MAIL BOX - BETWEEN 900 MM AND 1200 MM GROUP OF MAILBOXES - BETWEEN 600 MM AND 1600 MM	
<b>G4.3.3 – LOCATION OF MAIL BOXES</b> AUSTRALIA POST DELIVERS ONLY INTO MAIL BOXES IN AN APPROVED LOCATION. MAIL BOXES MUST ALLOW UNHINDERED ACCESS TO THE DELIVERY APERTURE. THE TABLE SHOWS THE LOCATION REQUIREMENTS FOR MAIL BOXES DEPENDING ON THE TYPE OF PREMISES.	
TYPE OF PREMISES	APPROVED LOCATION
SINGLE RESIDENTIAL OR COMMERCIAL PREMISES	A SINGLE MAIL BOX ON THE BOUNDARY OF THE PROPERTY WITH THE FOOTPATH OR ROAD. THE MAIL BOX APERTURE MUST FACE THE FOOTPATH OR ROAD. IF THE DOOR OF THE BUILDING ABUTS THE FOOTPATH, THE MAIL BOX APERTURE MAY BE IN THE DOOR. A POSTAL DELIVERY OFFICER MUST BE ABLE TO PLACE MAIL IN THE BOX WITHOUT DISMOUNTING FROM A BICYCLE OR MOTOR CYCLE.
SINGLE RESIDENTIAL OR BUSINESS PREMISES WITH DRIVEWAY ACCESS TO A ROAD	AT THE JUNCTION OF THE DRIVEWAY WITH THE ROAD.
TWO ADJOINING RESIDENTIAL OR BUSINESS PREMISES WITH COMMON DRIVEWAY ACCESS TO A ROAD	BOTH MAIL BOXES AT A COMMON POINT AT THE JUNCTION OF THE DRIVEWAY WITH THE ROAD.
PREMISES WITH MULTIPLE DELIVERY POINTS	A SINGLE GROUP OF MAIL BOXES ON THE BOUNDARY OF THE PROPERTY WITH THE FOOTPATH OR PUBLIC ROAD. THE MAIL BOXES MAY BE AT RIGHT ANGLES TO THE FOOTPATH OR ROAD AND PARALLEL TO THE DRIVEWAY WITH THE FIRST BOX AS CLOSE TO THE BOUNDARY AS POSSIBLE. ADEQUATE PARKING FOR A BICYCLE OR MOTOR CYCLE MUST BE AVAILABLE. A POSTAL DELIVERY OFFICER MUST BE ABLE TO PLACE MAIL IN THE BOXES SAFELY.
MULTI-STORY RESIDENTIAL OR COMMERCIAL BUILDINGS	AS FOR PREMISES WITH MULTIPLE DELIVERY POINTS. IF THE ENTRANCE TO THE BUILDING ABUTS THE FOOTPATH OR ROAD, THE SINGLE GROUP OF MAIL BOXES MAY BE IN THE FOYER AS CLOSE TO THE ENTRANCE AS POSSIBLE. AUSTRALIA POST MAY REQUIRE A MAIL ROOM OR A MAIL LOCKER FOR THE USE OF POSTAL DELIVERY OFFICERS.
VERY LARGE MULTI-STORY RESIDENTIAL OR COMMERCIAL BUILDINGS	A SINGLE GROUP OF MAIL BOXES LOCATED AT A CONVENIENT POINT WITH MOTOR VEHICLE ACCESS IN A SERVICE AREA OR BASEMENT. AUSTRALIA POST MAY REQUIRE A MAIL ROOM OR A MAIL LOCKER FOR THE USE OF POSTAL DELIVERY OFFICERS.

REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For Information	

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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
FENCE TYPES & MAILBOXES

- INFORMATION -	
DATE: OCT-03-18	SCALE: @ A1 @ A3
DWG No: TC08	REV: P4 OCT 03 2018



3a A 6.0M WIDE (MINIMUM WIDTH) RESERVE/PEDESTRIAN OPEN SPACE LINK MUST BE PROVIDED THROUGH THE LAND PROVIDING FOR A LEGIBLE PEDESTRIAN LINK (PUBLIC ACCESS) FROM HANSWORTH STREET WEST TO HANSWORTH STREET SOUTH. THE LAND WITHIN THE RESERVE MUST BE VESTED TO THE CITY OF MONASH PRIOR TO SUBDIVISION OR OCCUPATION OF ANY DWELLING WITHIN THE APPROVED DEVELOPMENT (WHICHEVER OCCURS FIRST).

3c THE RESERVE/PEDESTRIAN OPEN SPACE LINK MUST BE DESIGNED AND CONSTRUCTED TO THE SATISFACTION OF THE COUNCIL AT FULL COST OF THE PERMIT HOLDER PRIOR TO SUBDIVISION OR OCCUPATION OF ANY DWELLING WITHIN THE PERMITTED DEVELOPMENT (WHICHEVER OCCURS FIRST).

3d PRIOR TO THE DEVELOPMENT COMMENCING, DETAILED ENGINEERING PLANS FOR CIVIL WORKS WITHIN THE RESERVE/PEDESTRIAN OPEN SPACE LINK ARE REQUIRED TO BE SUBMITTED TO COUNCIL FOR APPROVAL. THESE WORKS ARE TO BE DESIGNED, CONSTRUCTED AND INSPECTED TO THE SATISFACTION OF COUNCIL AT THE FULL COST OF THE PERMIT HOLDER.

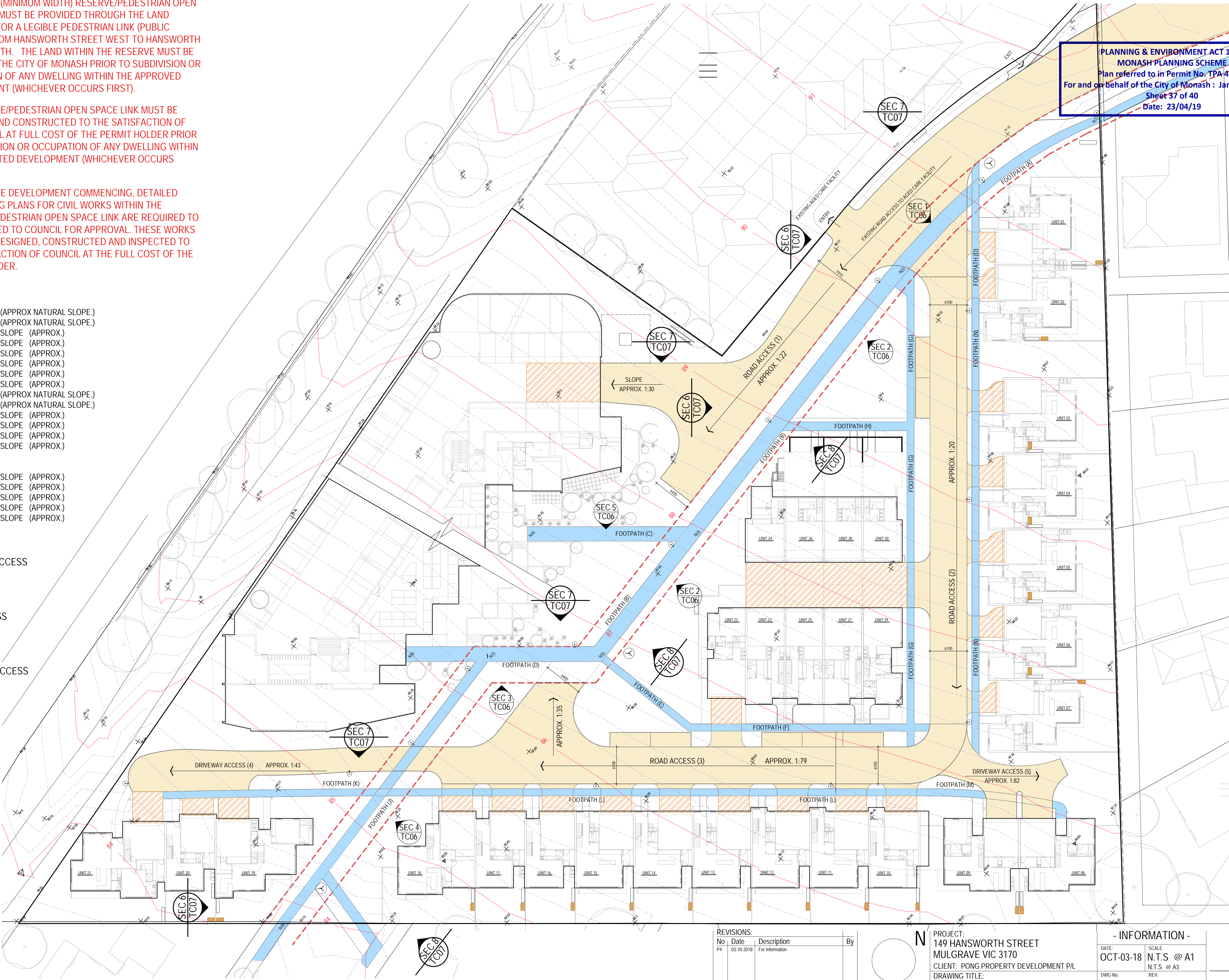
ACCESS SURFACES SLOPES

FOOTPATH (A)	1:29 (APPROX NATURAL SLOPE.)
FOOTPATH (B)	1:22 (APPROX NATURAL SLOPE.)
FOOTPATH (C)	1:35 SLOPE (APPROX.)
FOOTPATH (D)	1:28 SLOPE (APPROX.)
FOOTPATH (E)	1:53 SLOPE (APPROX.)
FOOTPATH (F)	1:79 SLOPE (APPROX.)
FOOTPATH (G)	1:20 SLOPE (APPROX.)
FOOTPATH (H)	1:22 SLOPE (APPROX.)
FOOTPATH (J)	1:49 (APPROX NATURAL SLOPE.)
FOOTPATH (K)	1:32 (APPROX NATURAL SLOPE.)
FOOTPATH (L)	1:79 SLOPE (APPROX.)
FOOTPATH (M)	1:82 SLOPE (APPROX.)
FOOTPATH (N)	1:20 SLOPE (APPROX.)
FOOTPATH (O)	1:16 SLOPE (APPROX.)

ROAD ACCESS (1)	1:22 SLOPE (APPROX.)
ROAD ACCESS (2)	1:20 SLOPE (APPROX.)
ROAD ACCESS (3)	1:79 SLOPE (APPROX.)
DRIVEWAY ACCESS (4)	1:43 SLOPE (APPROX.)
DRIVEWAY ACCESS (5)	1:82 SLOPE (APPROX.)

- DRIVEWAY ACCESS
- ROAD ACCESS
- FOOTPATH ACCESS

PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No: TPA45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 37 of 40  
Date: 23/04/19



REVISIONS:			
No	Date	Description	By
P4	03-10-2018	For Information	

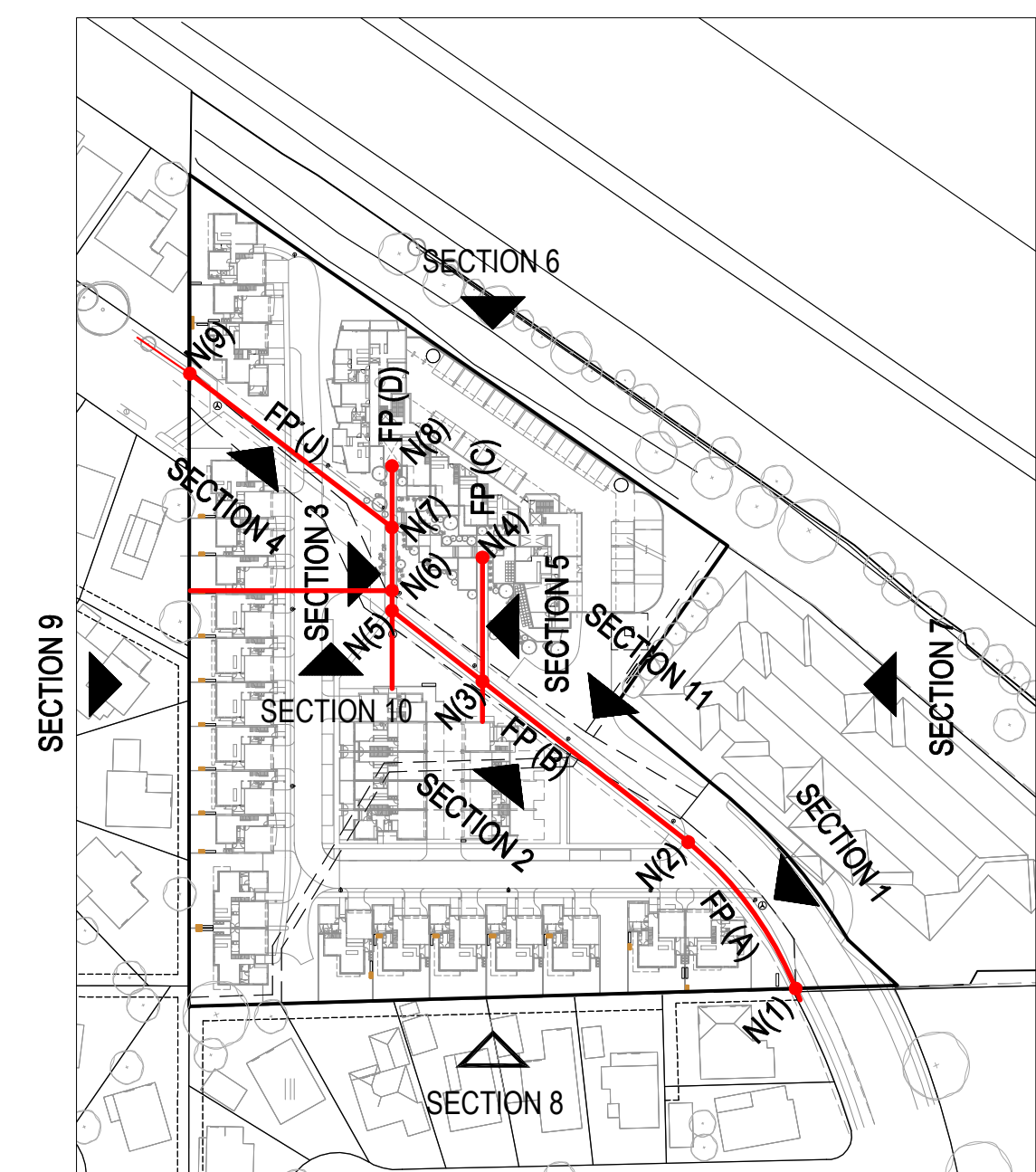
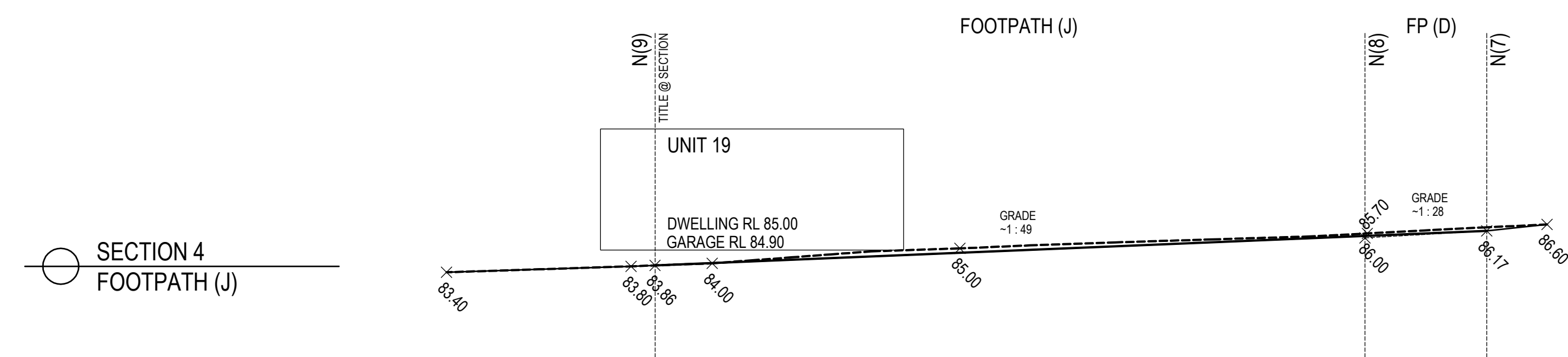
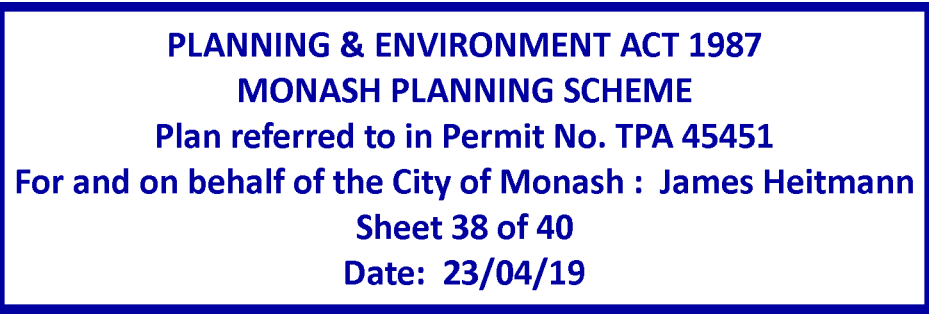
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N  
PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
PEDESTRIAN PATH DIAGRAM

- INFORMATION -			
DATE:	OCT-03-18	SCALE:	N.T.S @ A1 N.T.S @ A3
DWG No:	TD01	REV:	P4
			OCT 03 2018

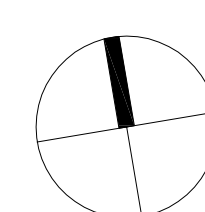
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ARCHITECTS  
2 JACKSON PLACE - MULGRAVE VIC 3170  
T: 03 9587 9988  
INFO@SGOURAKISARCHITECTS.COM





REVISIONS:			
No	Date	Description	B
P4	03-10-2018	For Information	
P5	18-03-2019	Response to Council RFIs	

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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
PATHWAY RLs  
SECTION 1 - 5

- INFORMATION -	
DATE: MAR-18-19	SCALE: 1:300 @ A1 1:600 @ A3
DWG No: TD02	REV: P5 MAR 18 2019

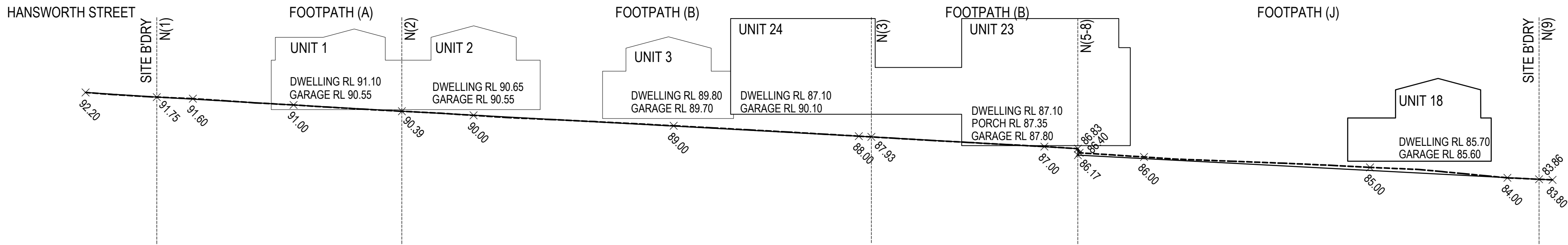
**SGOURAKIS**  
ARCHITECTS

2 ACACIA PLACE, ABBOTSFORD VIC 3067  
T: 03 9341 0664  
INFO@SGOURAKISARCHITECTS.COM

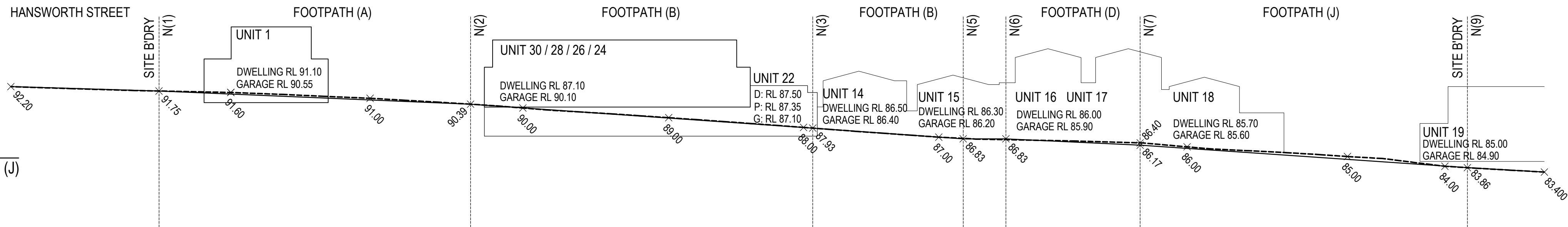


PLANNING & ENVIRONMENT ACT 1987  
MONASH PLANNING SCHEME  
Plan referred to in Permit No. TPA 45451  
For and on behalf of the City of Monash : James Heitmann  
Sheet 39 of 40  
Date: 23/04/19

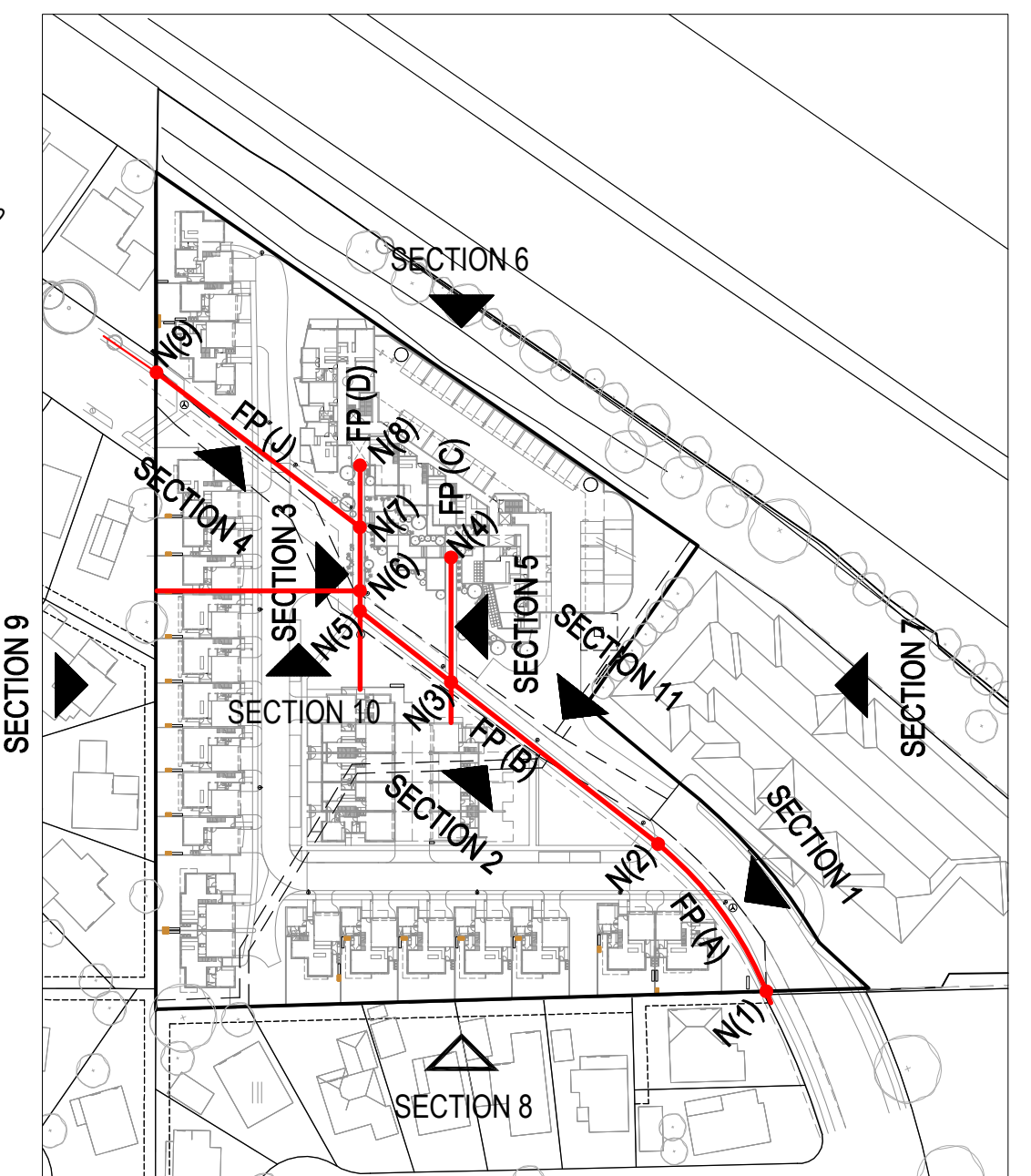
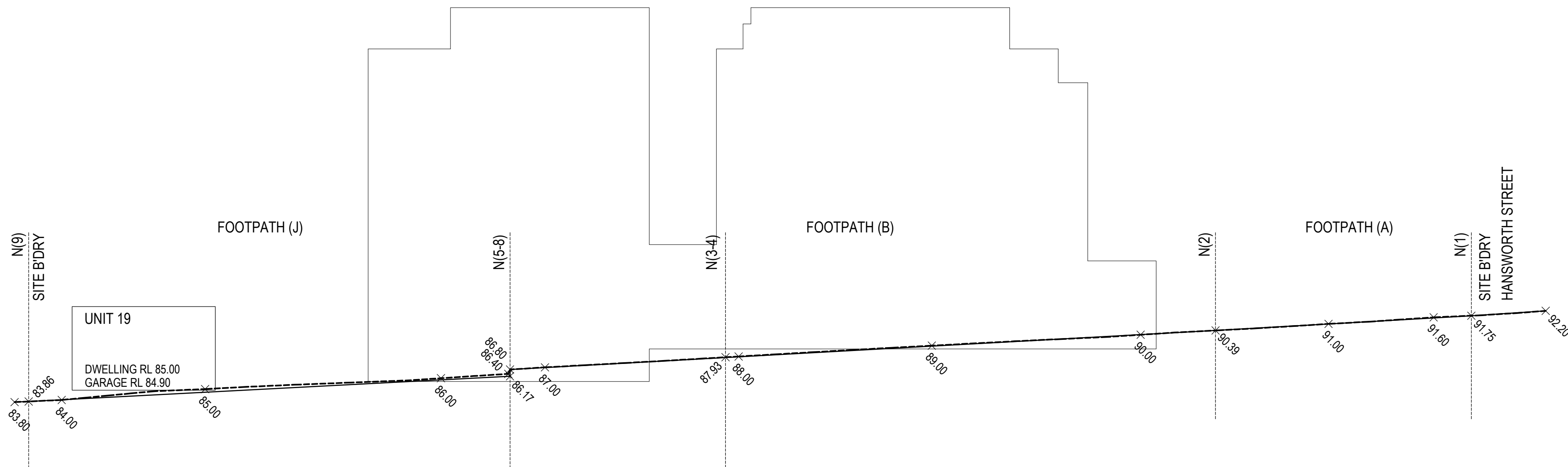
SECTION 6  
FOOTPATH (A) + (B) + (J)



SECTION 7  
FOOTPATH (A) + (B) + (D) + (J)



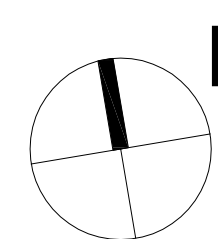
SECTION 8  
FOOTPATH (J) + (B) + (A)



KEY PLAN REFERENCE

REVISIONS:			
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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
PATHWAY RLs  
SECTION 1 - 5

- INFORMATION -			
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DWG No:	TD03	REV:	1:600 @ A3
	P5		MAR 18 2019

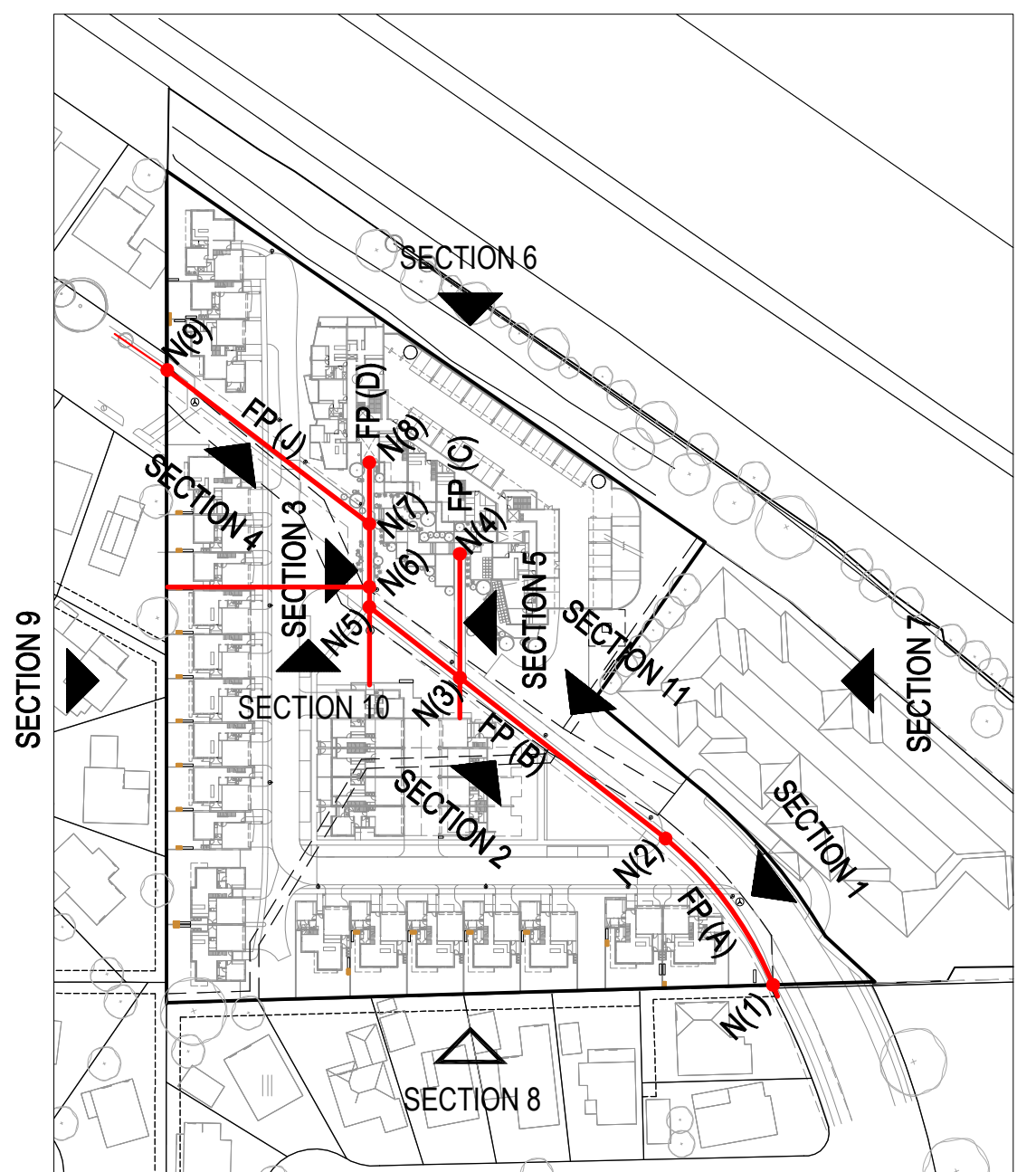
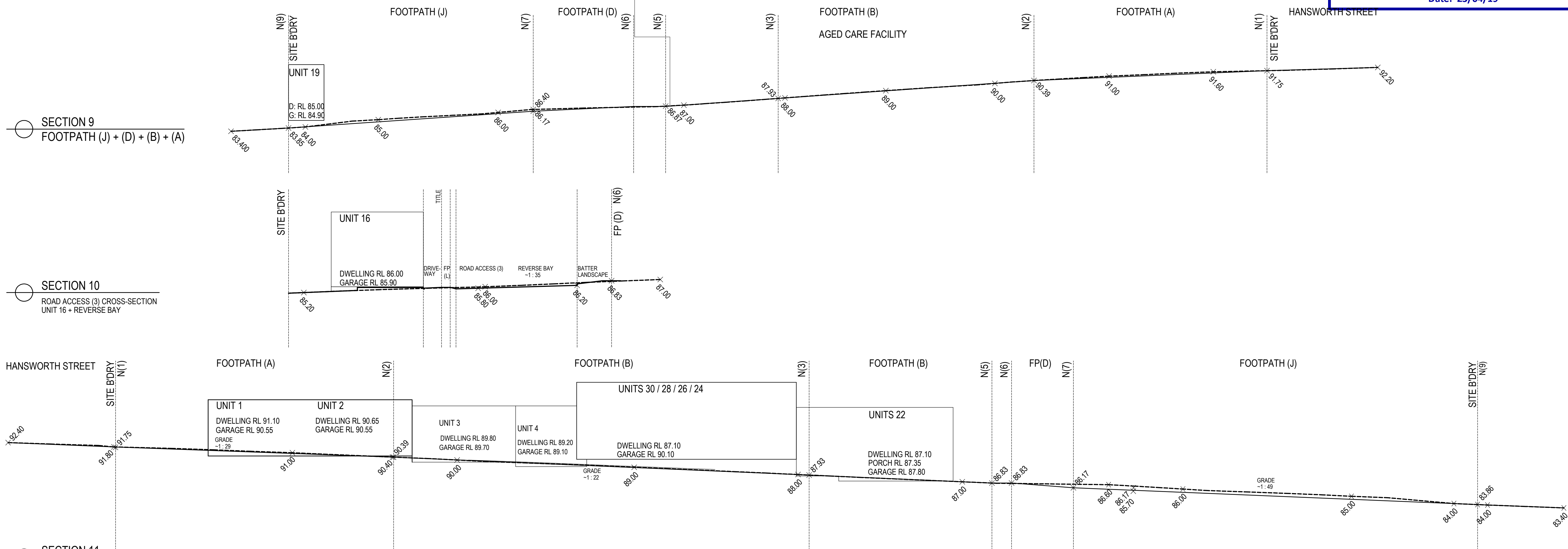
SGOURAKIS  
ARCHITECTS  
2/405 MULGRAVE - HANSTON RD VIC 3170  
T: 03 9551 9984  
INFO@SGOURAKISARCHITECTS.COM



SECTION 9  
FOOTPATH (J) + (D) + (B) + (A)

SECTION 10  
ROAD ACCESS (3) CROSS-SECTION  
UNIT 16 + REVERSE BAY

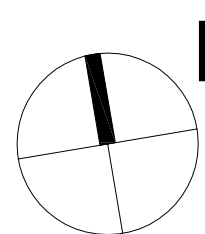
SECTION 11  
FOOTPATH (A)



KEY PLAN REFERENCE

REVISIONS:			
No	Date	Description	By
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P5	18-03-2019	Response to Council RFIs	

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PROJECT:  
149 HANSWORTH STREET  
MULGRAVE VIC 3170  
CLIENT: PONG PROPERTY DEVELOPMENT P/L  
DRAWING TITLE:  
PATHWAY RLs  
SECTION 1 - 5

- INFORMATION -			
DATE:	MAR-18-19	SCALE:	1:300 @ A1
DWG No:	TD04	REV:	P5 MAR 18 2019



## PLANNING

Permit No.:

**TPA/45451-VCAT Directed**

## PERMIT

Planning Scheme:

**Monash Planning Scheme**

Responsible Authority:

**Monash City Council**

### ADDRESS OF THE LAND

149 Hansworth Street MULGRAVE VIC 3170

### THE PERMIT ALLOWS

The staged development of two residential apartment towers (including podium) of 9 and 10 stories in total height and associated landscaping and works and of 28 two storey townhouses and associated landscaping and works in accordance with the endorsed plans in accordance with the endorsed plans.

### THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT

1. Before the development commences, an amended staging plan must be submitted to and approved by the Responsible Authority. The Plan must be generally in accordance with the staging plan prepared by Parallel Workshop Pty Ltd and dated 16 December 2020, but modified to show:
  - a) The staging plan to include an outline of the built form of the apartment component.
  - b) Rename "future Stage" as "Stage 3" or "Stage 2a" as appropriate.
  - c) Removal of the colour hatching of the easement, and clarify that this area is located within Stage 1.
  - d) Written details of all works to be included in each Stage.
  - e) The triangular open space / landscaped area on the eastern side of Townhouses 24-28 to be included within Stages 2a.
2. Before the development of each Stage starts, amended plans of that Stage drawn to scale and dimensioned, must be submitted to and approved by the Responsible Authority. When approved the plans will be endorsed and will then form part of the permit.

The plans for **Stage 1** must be generally in accordance with the plans substituted for the application plans at the VCAT hearing in P2277/2016, but modified to show:



# PLANNING PERMIT

## No. TPA/45451 VCAT Directed

- a) A landscaping area to be provided within the accessway, between the garages associated with Townhouses 8 and 9.
- b) The details of the pedestrian footpath required by condition 5.
- c) A detailed schedule of all materials and finishes including samples, coloured elevations and perspectives. The facades of the tower buildings must confirm the glass and other reflective materials meet the relevant EPA standard for glare.
- d) The location and design of any required fire services, electricity supply, gas and water meter boxes discreetly located and/or screened to compliment the development.
- e) A complete set of detailed elevation drawings showing all windows, doors, balconies and the like.
- f) Redesign of the entry area to the Land accessed off Hansworth Street at the western end of the site to accord with the recommendations made in the evidence of Craig Czarny given in the VCAT hearing in P2277/2016 (including a revised more sympathetic/transparent fencing treatment on that part of the western boundary alongside Hansworth Street).
- g) Compliance with the design standards of 52.06-8 for all car parking areas provided on or to the Land.
- h) A detailed plan of the access to the southern end of Hansworth Street, including threshold treatment, in accordance with Council's standards.
- i) The proposed three storey townhouses 11-13 modified by the deletion of their third level, including any consequential re-configuration of their ground and first floor levels.
- j) The proposed townhouses 17, 16 and 10 each modified by deleting the top level.
- k) A detailed fencing plan (to include suitable changes to that part of the fence on the western boundary alongside Hansworth Street), including elevations and the specification of a graffiti-resistant finish.
- l) The width of the internal access roads fine-tuned to be consistent with the relevant turning circle distances of the intended type of waste collection truck, as per the approved Waste Management Plan required by Condition 9 hereof.
- m) The correct location and details of all existing vehicle entry points where vehicles can currently enter and exit the adjacent Blue Cross aged care facility car park and any associated porte-cochere.
- n) Full details as required by the endorsed Waste Management Plan.



# PLANNING PERMIT

## No. TPA/45451 VCAT Directed

- o) Full details as required by the endorsed Public Lighting Plan for this Stage.
- p) Full details as required by the endorsed Sustainability Management Plan for this Stage.
- q) Provision for the removal of drains within the existing easements on the Land and the creation of new drains in accordance with Council's standards and specifications.
- r) Compliance with the design standards of 52.06-8 for all car parking areas provided on or to the Land.

The plans for **Stage 2** must be generally in accordance with the plans substituted for the application plans at the VCAT hearing in P2277/2016, but modified to show:

- s) Elevation plans to be titled which represent the elevation provided (i.e. north, south, east, west).
- t) The front fence to Townhouses 23, 25 and 27 reduced in height to 1.5 metres and set back a minimum of 500mm from the pedestrian footpath.
- u) The clothes lines associated with Townhouses 23, 25-28 removed and the clothes lines associated with Townhouses 22 and 24 relocated to be adjacent to the fence adjoining the vehicle driveway.
- v) Boundary fences on the northern side of Townhouses 22 and 24 to be a maximum of 1.8 metres in height.
- w) A minimum of two windows on the ground floor, south facing walls associated with Townhouses 27 and 28.
- x) The first floor master bedroom windows associated with Townhouses 23-28 to be screened using louvres which allow views downwards and up to the sky, however prevents overlooking to bedroom windows opposite.
- y) Show all relevant window screening on the relevant floor plan(s).
- z) A detailed schedule of all materials and finishes including samples, coloured elevations and perspectives. The facades of the tower buildings must confirm the glass and other reflective materials meet the relevant EPA standard for glare.
- aa) The location and design of any required fire services, electricity supply, gas and water meter boxes discreetly located and/or screened to compliment the development.
- bb) A complete set of detailed elevation drawings showing all windows, doors, balconies and the like.



# PLANNING PERMIT

## No. TPA/45451 VCAT Directed

- cc) Compliance with the design standards of 52.06-8 for all car parking areas provided on or to the Land.
- dd) The proposed townhouse 20 modified by deleting the top level.
- ee) A detailed fencing plan (to include suitable changes to that part of the fence on the western boundary alongside Hansworth Street), including elevations and the specification of a graffiti-resistant finish.
- ff) Full details as required by the endorsed Waste Management Plan.
- gg) Full details including as to materials as required by the endorsed Acoustic Plan.
- hh) Full details as required by the endorsed Public Lighting Plan for this Stage.
- ii) Full details as required by the endorsed Sustainability Management Plan for this Stage.

Amended plans for **Stage 3** must be generally in accordance with the prepared by Cera Stribley Architects dated 22 September 2021 (Revision A) and landscaping plans by John Patrick Landscape Architects dated September 2021~~plans substituted for the application plans at the VCAT hearing in P2277/2016~~, but modified to show:

- jj) Revisions to the vehicle entrance agreement to improve landscaping and reduce vehicle hardstand generally in accordance with the proposed upper ground level plan prepared by Cera Stribley Architects with date stamp 31 January 2022.
- ~~jj) Revision of the western tower to accord with the recommendations made in the evidence of Craig Czarny given in the VCAT hearing in P2277/2016.~~
- kk) Revisions to the northwest building interface to increase the setback of the building from the internal road servicing TH19-TH21 to a minimum of 3m (to allow for further landscaping opportunities) with consequential changes that allow the entire building to shift to the east no more than 1m to the satisfaction of the responsible authority. Any resulting revision should be consistent with the objectives and standards of clause 58.07 and Clause 58.05.
- ~~kk) A general signage plan, including providing directional signage for the residential entries for the towers.~~
- ll) As a result of the condition kk, any direct overlooking between the two towers must be screened to the satisfaction of the responsible authority in accordance with clause 55.04-6.
- ~~ll) Full detail of ramp grades designed to provide no greater than a grade of 1 in 4 and a minimum of a 2.0 metre transition between different sections of ramp or floor for changes in grade in excess of 12.5% (summit grade change) or 15% (sag grade change).~~



# PLANNING PERMIT

## No. TPA/45451 VCAT Directed

~~mm) The apartment car park circulation ramps redesigned to accommodate simultaneous B99 and B85 vehicle paths in opposing directions along each ramp, in accordance with section 4.2 of the traffic assessment report and the Australian Standard for Off Street Car Parking, AS/NZ 2890.1.~~

mm) A general signage plan, including providing directional signage for the residential entries for the towers.

nn) Compliance with the design standards of 52.06-8 for all car parking areas provided on or to the Land.

oo) Provision of bicycle parking spaces in accordance with Clause 52.34. Details of the bicycle parking in accordance with the design standards (including signage) required by clause 52.34 of the Scheme

pp) All apartment visitor parking spaces shown at the car park entry level and clearly marked.

qq) Full details as required by the endorsed Waste Management Plan.

rr) Full details including as to materials as required by the endorsed Acoustic Plan.

ss) Full details as required by the endorsed Wind Assessment Report.

tt) Full details as required by the endorsed Public Lighting Plan for this Stage.

uu) Full details as required by the endorsed Sustainability Management Plan for this Stage.

vv) Car parking provided in accordance with Condition 20.

ww) Each set of a dependent car stacker system and each set of tandem spaces are to be allocated to a single dwelling, to the satisfaction of the Responsible Authority.

xx) A schedule allocating storage areas to the apartments.

All to the satisfaction of the responsible authority.

3. The completion of works associated with Stage 2(a) within 8 months from the issue of certificates of occupancy for all dwellings within Stage 2, unless otherwise agreed in writing with the Responsible Authority.
4. The development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.
5. Prior to occupation of **Stage 1** of the development:
  - (a) A 6.0m wide (minimum width) reserve/pedestrian open space link must be provided through the Land providing for a legible pedestrian link (public access)

**Page 5 of 17**

**Date issued:  
8 November 2017**

**Signature for the  
Responsible Authority:**



# PLANNING PERMIT

## No. TPA/45451 VCAT Directed

from Hansworth Street west to Hansworth Street south. The land within the reserve must be vested to the City of Monash prior to subdivision or occupation of any dwelling within the approved development (whichever occurs first).

- (b) The 6.0m wide reserve must accommodate:
    - (i) a pedestrian footpath generally of a 2.5m width through the Land designed in accordance with Council's standards and specifications, in particular:
      - (a) a width of no less than 1.5m;
      - (b) 125mm concrete paving depth plus 50mm consolidated depth of fine crushed rock bedding;
      - (c) all concrete paving to be N32 (minimum) strength grade;
      - (d) maximum crossfall of 1:40 (2.5%);
      - (e) contraction joints as per Council's standard (drawing C07);
      - (f) light broom finish across path;
      - (g) footpath to generally match existing levels; and
      - (h) 100mm topsoil and seeded with backfill either side of path.
    - (ii) pedestrian crossings/priority across internal roadways;
    - (iii) integrated landscaping elements adjoining the pedestrian path;
    - (iv) integrated public lighting; and
    - (v) fencing and retaining wall details.
  - (c) The reserve/pedestrian open space link must be designed and constructed to the satisfaction of the Council at full cost of the permit holder prior to subdivision or occupation of any dwelling within the permitted development (whichever occurs first).
  - (d) Prior to the development commencing, detailed engineering plans for civil works within the reserve/pedestrian open space link are required to be submitted to Council for approval. These works are to be designed, constructed and inspected to the satisfaction of Council at the full cost of the permit holder.
6. Prior to the commencement of any works, use and development and for the usage of the land to be changed for a sensitive use (Residential) permitted by this permit for the land:
- (a) A preliminary site assessment of the land must be conducted by a suitably qualified professional appointed as an environmental auditor under the Environment Protection Act 1970 at the cost of the permit holder.



# PLANNING PERMIT

## No. TPA/45451 VCAT Directed

- (b) A report setting out the findings of the preliminary site assessment, to the satisfaction of the Responsible Authority, must be submitted to the Responsible Authority.
7. If the Responsible Authority, having regard to the preliminary site assessment, considers that further assessment of potential contamination is required:
- (a) A certificate of environmental audit must be issued for the land in accordance with Part IXD of the Environment Protection Act 1970; or
- (b) An environmental auditor appointed under the Environment Protection Act 1970 must make a Statement in accordance with Part IXD of that Act that the environmental conditions of the land are suitable for the sensitive use.

Three copies of the Certificate of Environmental Audit or the Statement of Environmental Audit and the audit area plan must be submitted to the Responsible Authority.

8. The development and/or use allowed by this permit must strictly comply with the directions and conditions of the Environment Protection Act 1970 and, if one has been prepared, with the conditions on the Certificate or Statement of Environmental Audit.
9. In the event that a Statement has been prepared pursuant to condition ~~5~~7 of this permit, a Section 173 Agreement under the Planning and Environment Act 1987 must be entered into between the owner of the Land and the Responsible Authority at the full cost of the owner and prior to the occupation of any dwelling on the Land.
10. Prior to the issue of a Certificate of Occupancy under the *Building Act 1993* for each Stage and certification/issue of a statement of compliance under the *Subdivision Act 1988* a letter must be submitted to Council prepared by an Environmental Auditor appointed by the Environment Protection Authority under the *Environment Protection Act 1970* to verify that the conditions attached to any Statement of Environmental Audit issued for the Land pursuant to this permit for that particular Stage have been satisfied.

A copy of the certificate or statement of Environmental Audit issued for the land must be provided to each owner, under a covering letter which draws attention to any conditions or directions on the Certificate or Statement of Environmental Audit.

11. Prior to the commencement of works in each Stage, the owner shall prepare a Waste Management Plan for that stage for the collection and disposal of garbage and recyclables for all dwellings within that Stage on the site by private contractor. The Waste Management Plan shall provide for:
- (a) The method of collection of garbage and recyclables for uses;
- (b) Designation of methods of collection by private services;



# PLANNING PERMIT

## No. TPA/45451 VCAT Directed

- (c) Waste collection via the laneway adjacent to the northern boundary;
- (d) Appropriate areas of bin storage on site and areas for bin storage on collection days;
- (e) Measures to minimise the impact upon local amenity and on the operation, management and maintenance of car parking areas;
- (f) Litter management.

A copy of this plan must be submitted to and approved by the Responsible Authority. Once approved the Waste Management Plan will be endorsed to form part of the permit.

- 12. No goods must be stored or left exposed outside the building so as to be visible from any public road or thoroughfare.
- 13. No bin or receptacle or any form of rubbish or refuse shall be allowed to remain in view of the public and no odour shall be emitted from any receptacle so as to cause offence to persons outside the land.
- 14. No equipment, services, architectural features or structures of any kind, including telecommunication facilities, other than those shown on the endorsed plans shall be permitted above the roof level of the building unless otherwise agreed to in writing by the Responsible Authority.
- 15. A landscape plan for each Stage prepared by a Landscape Architect or a suitably qualified or experienced landscape designer, drawn to scale and dimensioned must be submitted to and approved by the Responsible Authority prior to the commencement of that Stage. The plan must be generally in accordance with the John Patrick plan but modified to show:-
  - (a) The changes required by condition 1 of this permit.
  - (b) Full details of all soft and hard landscaping to soften the appearance of the development, including to the podium between the two residential towers.
  - (c) The landscaping treatment of the podium communal area.
  - (d) Schedule of all proposed trees, shrubs, creepers and ground cover, which will include the size of all plants (at planting and at maturity), their location, botanical names and the location of all areas to be covered by grass, lawn, mulch or other surface material. The choice of trees species shall include avoiding particularly tall trees being planted in the existing easement area alongside the Blue Cross aged care facility or in the new podium communal area.
  - (e) Provision of appropriate species suited to low water use and low ongoing maintenance.



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- (f) Detail of growing medium, irrigation and drainage of planter boxes and planting within confined spaces.
- (g) The extent of any cut, fill, embankments or retaining walls associated with the landscape treatment of the site.

When approved the plan will be endorsed and will then form part of the permit.

- 16. Before the occupation of the buildings for each Stage allowed by this permit, landscaping works as shown on the endorsed plans for that particular Stage must be completed to the satisfaction of the Responsible Authority and then maintained to the satisfaction of the Responsible Authority.
- 17. Prior to occupation of the any Stage of the approved development, areas set aside for parked vehicles and access lanes associated with the relevant stage as shown on the endorsed plans must be:
  - (a) constructed to the satisfaction of the Responsible Authority;
  - (b) properly formed to such levels that they can be used in accordance with the plans;
  - (c) surfaced with an all-weather sealcoat to the satisfaction of the Responsible Authority;
  - (d) drained, maintained and not used for any other purpose to the satisfaction of the Responsible Authority;
  - (e) line-marked to indicate each car space and all access lanes to the satisfaction of the Responsible Authority.

Parking areas and access lanes must be kept available for these purposes at all times.

- 18. The layout of the development shall generally follow the Design Standards for car parking set out in Clause 52.06-8 of the Monash Planning Scheme.
- 19. The development must be provided with a corner splay or area at least 50% clear of visual obstruction (or with a height of less than 1.2m) extending at least 2.0 metre long x 2.5 metres deep ( within the property) on both sides of each vehicle crossing to provide a clear view of pedestrian on the footpath of the frontage road.
- 20. Car parking within the development must be allocated as follows:
  - (a) Provision of no less than 1 car space to each one or two bedroom dwelling.
  - (b) Provision of no less than 2 car spaces to each three or more bedroom dwelling.
  - (c) Provision of residential visitor car parking in accordance with clause 52.06.  
~~within common property.~~

Any future subdivision of the development must provide for car parking in accordance with the above-mentioned requirement on Title to the satisfaction of the Responsible Authority.



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21. The mechanical parking system to meet Australian Standard AS 5124:2017 *Safety of machinery—Equipment for power driven parking of motor vehicles - Safety and EMC requirements for design, manufacturing, erection and commissioning stages (EN 14010:2003, MOD)*.

22. The mechanical parking system to be maintained in a good working order and be permanently available for the parking of vehicles in accordance with its purpose, to the satisfaction of the Responsible Authority.

21-23. Stormwater discharge is to be detained on site to the predevelopment level of peak stormwater discharge. Approval of any detention system is required by the City of Monash prior to works commencing.

22-24. Before the development of each Stage starts, a site layout plan for that Stage drawn to scale and dimensioned must be approved by the Responsible Authority.

The plans must show a drainage scheme providing for the collection of stormwater within the Stage and for the conveying of the stormwater to the nominated point of discharge.

23-25. All on-site stormwater is to be collected from hard surface areas and must not be allowed to flow uncontrolled into adjoining properties. The on-site drainage system must prevent discharge from driveways onto the footpath. Such a system may include either:-

- (a) trench grates (150mm minimum width) located within the property; and/or
- (b) shaping the driveway so that water is collected in a grated pit on the property; and/or
- (c) another Council approved equivalent.

24-26. Bicycle parking facilities shall generally follow the design and signage requirements set out in Clause 52.34 of the Monash Planning Scheme.

25-27. Before the development of any Stage starts, a construction management plan for that particular Stage must be prepared and submitted to the Responsible Authority for approval. The plan must be to the satisfaction of the Responsible Authority. Once approved, the plan must be implemented to the satisfaction of the Responsible Authority. The plan must address the following issues:

- (a) measures to control noise, dust and water runoff;
- (b) prevention of silt or other pollutants from entering into the Council's underground drainage system or road network;
- (c) the location of where building materials are to be kept during construction;
- (d) the location of site services and constructions sheds;



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- (e) site security;
- (f) maintenance of safe movements of vehicles to and from the site during the construction phase;
- (g) the provision of car parking for vehicles associated with construction of the development;
- (h) wash down areas for trucks and vehicles associated with construction activities;
- (i) cleaning and maintaining surrounding road surfaces;
- (j) a requirement that construction works must only be carried out during the following hours:
  - (i) Monday to Friday (inclusive) – 7.00am to 6.00pm;
  - (ii) Saturday – 9.00am to 1.00pm;
  - (iii) Saturday – 1.00pm to 5.00pm (only activities associated with the erection of buildings. This does not include excavation or the use of heavy machinery.)

### Wind Assessment report

~~26-28.~~ Before the plans for Stage 3 are endorsed, a Wind Assessment Report to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the amended Wind Assessment Report will be endorsed and will form part of this permit. The amended Wind Assessment Report must:

- (a) reflect the plans to be submitted under condition 1 of this permit;
- (b) include wind tunnel modelling to verify the conclusions in the assessment;
- (c) details of the type, size and density of foliage of trees used to mitigate wind impacts; and
- (d) confirm that the balcony areas provided to dwellings will fulfil the sitting criteria.

~~27-29.~~ The provisions, recommendations and requirements of the endorsed Wind Assessment Report must be implemented and complied with to the satisfaction of the Responsible Authority.



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## **Acoustic report**

~~28-30.~~ Before the plans of Stages 2 or 3 are endorsed, an amended Acoustic Report for the applicable Stage to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the amended Acoustic Report will be endorsed and will form part of this permit. The amended Acoustic Report must be generally in accordance with the Acoustic Report prepared during the application phase of the permit but modified to:

- (a) reflect the plans to be submitted under condition 1 of this permit;
- (b) recommend all measures necessary to protect all dwelling occupants and nearby occupants from noise generated from the mechanical plant equipment and ventilation mechanisms installed or constructed as part of the development (including the lift, residential air conditioner units and commercial plant and equipment);
- (c) recommend all measures necessary to protect all dwelling occupants within the development from noise associated with the Monash Freeway and which achieves a noise level of :
  - Not greater than 35dB(A) for bedrooms, assessed as an LAeq,8h from 10pm to 6am.
  - Not greater than 40dB(A) for living areas, assessed LAeq,16h from 6am to 10pm.
- (d) detail any required changes to, or describe the further details required to be made to the plans to be submitted under condition 1 of this permit to limit the noise impacts in accordance with relevant guidelines or acoustic requirements; to the satisfaction of the Responsible Authority.

~~29-31.~~ The provisions, recommendations and requirements of the endorsed Acoustic Report must be implemented and complied with to the satisfaction of the Responsible Authority.

~~30-32.~~ On the completion of any works required by the endorsed acoustic report and before the residential use commences of any Stage of the of the development, an updated acoustic report prepared by a suitably qualified acoustic consultant to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority demonstrating that the required level of noise attenuation has been achieved. The report must:

- (a) confirm compliance with relevant conditions of the permit; and
- ~~(b)~~ provide measurement data taken from inside the dwellings of the development demonstrating compliance with relevant guidelines or acoustic requirements.



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The recommendations and any works contained in the approved acoustic report must be implemented and completed and where there are recommendations of an ongoing nature must be maintained all to the satisfaction of the Responsible Authority.

## Public lighting plan

~~31-33.~~ Prior to the commencement of any Stage of the development, a public lighting plan for that particular Stage must be submitted to and approved by the Responsible Authority. When approved, the public lighting plan will be endorsed and will form part of this permit. The public lighting plan must:

- (a) confirm that all primary pedestrian access to the Land and within the development will be lit by public lighting installations at least to lighting level P4 as specified in the Australian Standard AS 1125.3.1:2005 Lighting for roads and public spaces - Pedestrian area (Category P) lighting - Performance and design requirements;
- (b) confirm that any new poles and luminaires required for the development will be sourced from the relevant power authority's standard energy efficient luminaires list and comply with that power authority's technical requirements;
- (c) confirm that light spillage into the windows of any existing and proposed residences will be avoided or minimised and must comply with the requirements of Australian Standard AS 4282 – 1997 Control of the obtrusive effects of outdoor lighting;
- (d) confirm that the locations of any new light poles will not obstruct vehicular access into private property;
- (e) include a commitment that the permit holder will ensure (by contacting relevant power authority) that the existing or proposed power supply conforms to "No Go Zone" requirements from the relevant power authority; and
- (f) confirm the supply/installation of any additional/upgraded lighting, electrical hardware and poles will be funded by the permit holder.

~~32-34.~~ The provisions, recommendations and requirements of the endorsed public lighting plan must be implemented and complied with to the satisfaction of the Responsible Authority.

~~33-35.~~ Prior to the occupation of any dwelling within any Stage, a fire and emergency management plan for that Stage must be prepared and submitted to the Responsible Authority for approval. Once approved, the fire and emergency management plan will be endorsed. The fire and emergency management plan must include:

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Date issued:  
8 November 2017

Signature for the  
Responsible Authority:



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- (a) Emergency egress from all areas of the Land below ground level.
- (b) Details required by the relevant fire authority.  
to the satisfaction of the Responsible Authority.

34-36. The provisions of the endorsed fire and emergency management plan must be implemented and complied with to the satisfaction of the Responsible Authority.

### Sustainable Management Plan

35-37. Concurrent with the endorsement of any plans of any Stage, a Sustainable Management Plan (SMP) for that particular Stage must be submitted to and approved by the Responsible Authority. Upon approval the SMP will be endorsed as part of the planning permit and the development must incorporate the sustainable design initiatives outlined in the SMP to the satisfaction of the Responsible Authority. The report must include, but is not limited to, the following:

- a Demonstration of how 'best practice' sustainability measures have been addressed, having regard to the relevant aspects of Clause 21.13 of the Planning Scheme.
- b Identify relevant statutory obligations, strategic or other documented sustainability targets or performance standards.
- c Document the means by which the appropriate target or performance is to be achieved.
- d Identify responsibilities and a schedule for implementation, and ongoing management, maintenance and monitoring.
- e Demonstrate that the design elements, technologies and operational practices that comprise the SMP can be maintained over time.
- f Any relevant requirements of the Condition 1 sub-clauses hereof.

All works must be undertaken in accordance with the endorsed Sustainability Management Plan to the satisfaction of the Responsible Authority. No alterations to the endorsed Sustainable Management Plan may occur without written consent of the Responsible Authority and (to the extent material and necessary) any relevant flow-on changes to the design response must be also incorporated into the endorsed architectural plans.

36-38. Prior to the occupation any of the dwellings approved under this permit, a report from the author of the endorsed Sustainable Management Plan (or similarly qualified person or company) must be submitted to the Responsible Authority. The report must be to the satisfaction of the Responsible Authority and must confirm that (in relation to those relevant completed dwellings ready for occupation) all measures specified in



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the Sustainable Management Plan have been implemented in accordance with the approved plan.

### Expiry of permit:

~~37-39.~~ In accordance with section 68 of the Planning and Environment Act 1987, this permit will expire if one of the following circumstances applies:

- The development is not started before 2 years from the date of issue.
- The development is not completed before 6 years from the date of issue.

In accordance with section 69 of the Planning and Environment Act 1987, the responsible authority may extend the periods referred to if a request is made in writing before the permit expires, or within six months afterwards.

### NOTES-

1. Building approval must be obtained prior to the commencement of the above approved works.
2. Unless no permit is required under the planning scheme, no sign must be constructed or displayed without a further permit.
3. Building Permit approval for this development must take into consideration the location of future subdivision boundaries and their compliance with the Fire Separation Provisions of the Building Code of Australia, including Separating Walls and Openings near Boundaries, as well as the requirements of the Building Regulations.
4. Any new drainage work within the road reserve requires the approval of the City of Monash's Engineering Division prior to the works commencing. Three copies of the plans (A3-A1 size) for the drainage works must be submitted to and approved by the Engineering Division. The plans are to show sufficient information to determine that the drainage works will meet all drainage conditions of the permit. A refundable security deposit of \$500 is to be paid prior to the drainage works commencing.
5. Engineering permits must be obtained for new or altered vehicle crossings and for connections to Councils drains / Council pits / kerb & channel and these works are to be inspected by Council (telephone 9518 3690).
6. Stormwater detention requirements may be obtained from Council's Engineering Department prior to the design of any stormwater detention system.



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7. An on site detention system for storm events up to the 1% AEP event to be retained on site for the basement carpark.
8. A Licensed Surveyor or Civil Engineer (who is a Registered Building Practitioner) must certify that the stormwater detention system including all levels, pits, pipes and storage volumes is constructed in accordance with the approved plans. The certifier's registration number must be included on the certificate.

THIS PERMIT HAS BEEN AMENDED AS FOLLOWS:

Date of amendment	Brief Description of Amendment	Name of responsible authority that approved the amendment
5 April 2018	<ul style="list-style-type: none"><li>Condition 15 Corrected</li><li>Condition 26 Corrected</li></ul>	Monash City Council
30 April 2021	<ul style="list-style-type: none"><li>Preamble amended</li><li>Conditions of the permit amended as per VCAT Order dated 26 April 2021</li></ul>	VCAT



## IMPORTANT INFORMATION ABOUT THIS PERMIT

### WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit at the direction of the Victorian Civil and Administrative Tribunal.  
(Note: This is not a permit granted under Division 5 or 6 of Part 4 of the **Planning and Environment Act 1987**.)

### CAN THE RESPONSIBLE AUTHORITY AMEND THIS PERMIT?

The Responsible Authority may amend this permit under Division 1A of Part 4 of the **Planning and Environment Act 1987**.

### WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from:
  - (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

### WHEN DOES A PERMIT EXPIRE?

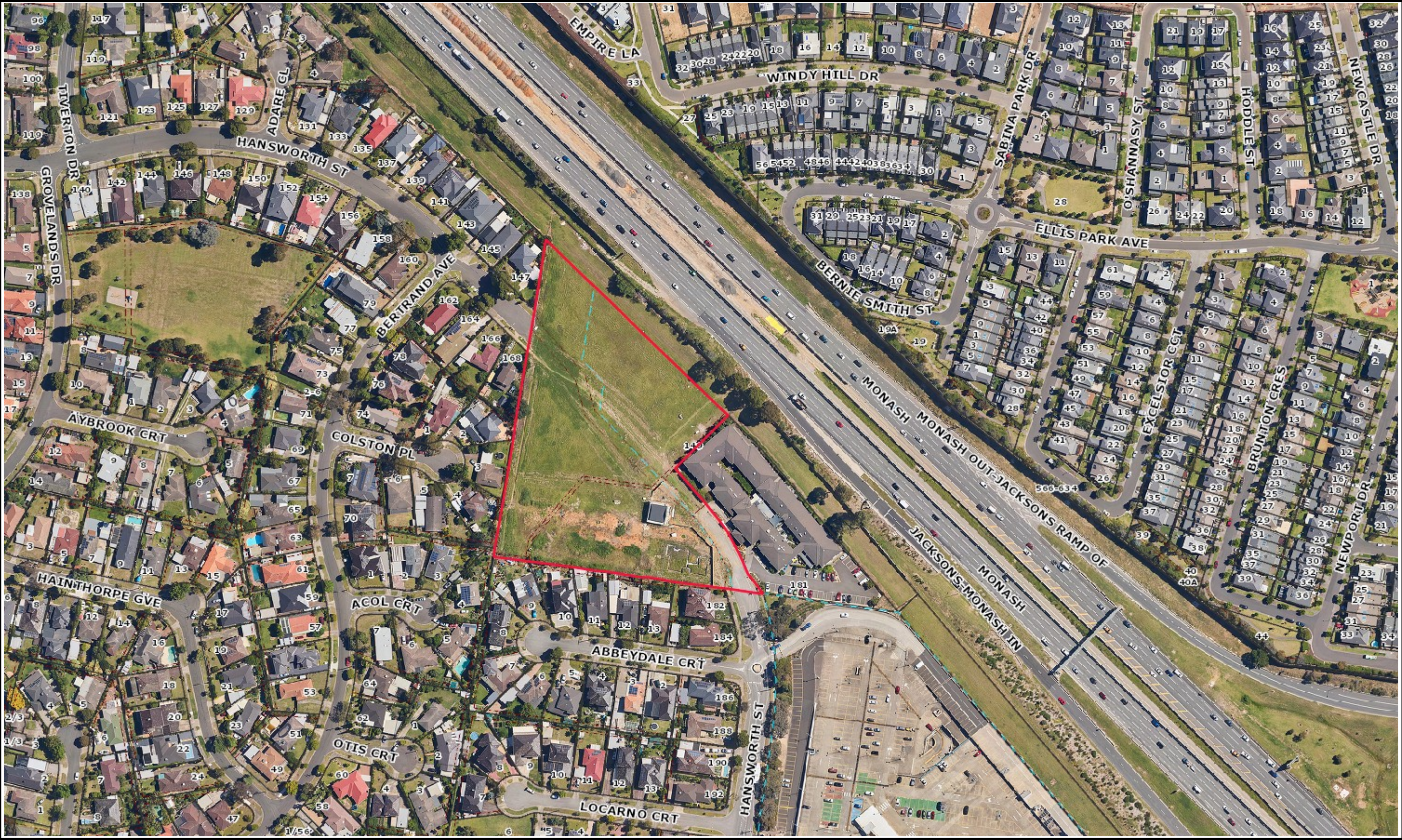
1. A permit for the development of land expires if-
  - the development or any stage of it does not start within the time specified in the permit, or
  - the development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act 1988* and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the *Subdivision Act 1988*.
2. A permit for the use of land expires if-
  - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if-
  - the development or any stage of it does not start within the time specified in the permit; or
  - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
  - the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision -
  - the use or development of any stage is to be taken to have started when the plan is certified; and
  - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

### WHAT ABOUT REVIEWS?

- The person who applied for the permit may apply for a review of any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case no right of review exists.
- An application for review must be lodged within 60 days after the permit was issued, unless a notice of decision to grant a permit has been issued previously, in which case the application for review must be lodged within 60 days after the giving of that notice.
- An application for review is lodged with the Victorian Civil and Administrative Tribunal.
- An application for review must be made on an application for review form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the applicable fee.
- An application for review must state the grounds upon which it is based.
- A copy of an application for review must also be served on the responsible authority.
- Details about applications for review and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.



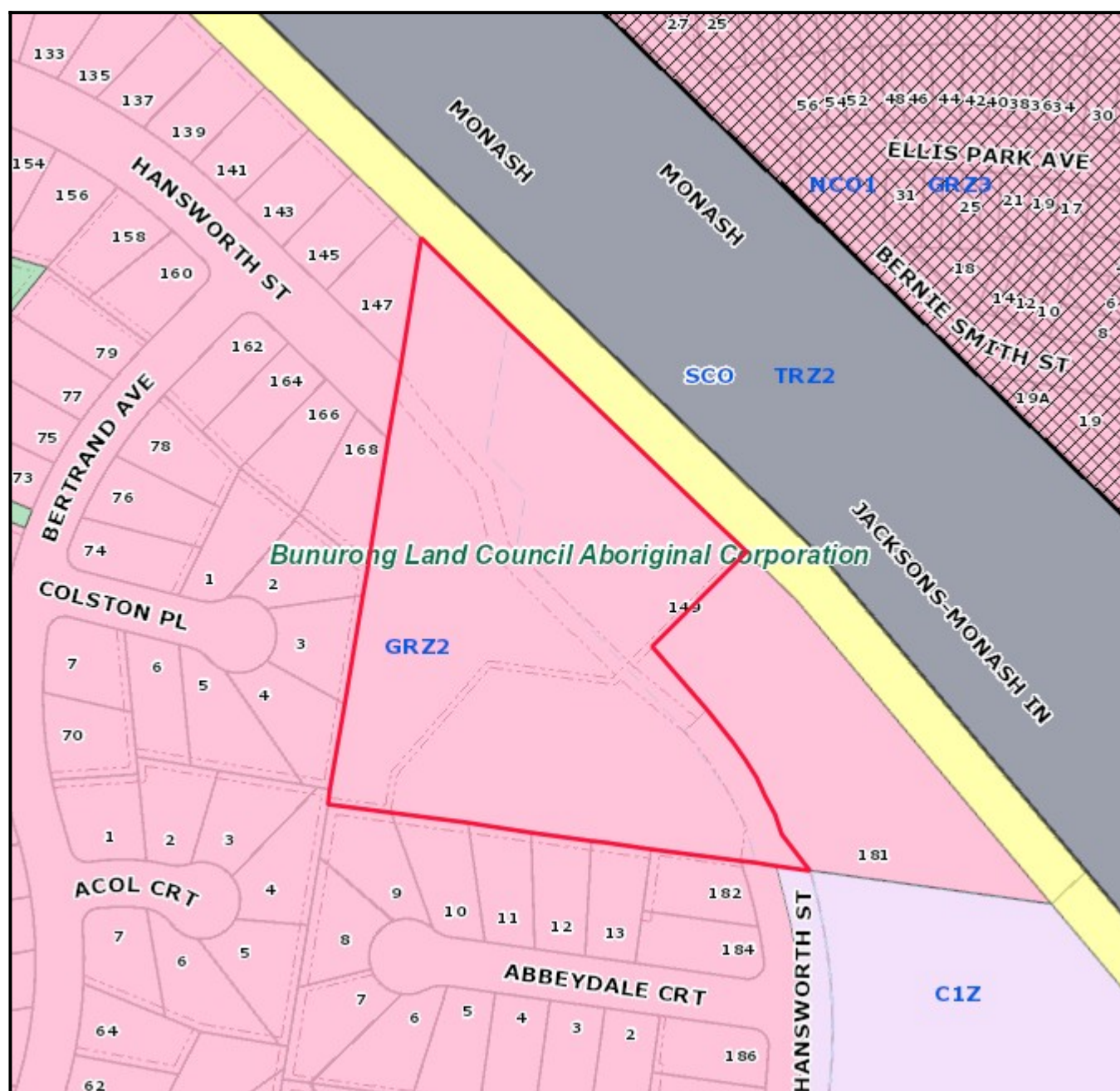
Attachment 4: 149 Hansworth Street, Mulgrave







## Planning Overlays and Zones



### Legend Planning Zones

C1Z	GRZ10	GRZ7	MUZ2	PCRZ	PUZ4	RGZ1	SUZ3
C2Z	GRZ2	GRZ8	NRZ1	PPRZ	PUZ5	RGZ3	SUZ4
CA	GRZ3	GRZ9	NRZ2	PUZ1	PUZ6	RGZ4	SUZ5
CDZ1	GRZ5	IN1Z	NRZ3	PUZ2	PUZ7	RGZ5	SUZ6
GRZ1	GRZ6	MUZ	NRZ4	PUZ3	RDZ1	SUZ2	UFZ

### Planning Overlays

DDO	EAO	IFO	NCO	PO
DPO	HO	LSIO / SBO	PAO	VPO

1:2000

**Address:** 149 Hansworth Street MULGRAVE VIC 3170

**Area:** 16690.00000 sqm

Base data is supplied under Licence from Land Victoria. This map is for general use only and may not be used as proof of ownership, dimensions or any other status. The information must be verified before taking any action which may be affected by a planning scheme requirement. This can be done by visiting the website: <http://services.land.vic.gov.au/landchannel/content/>

The City of Monash endeavours to keep the information current, and welcomes notification of omissions or inaccuracies.