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PROPOSED BRANDON PARK SHOPPING CENTRE MIXED-USE

Brandon Park Drive

FOR NEWMARK CAPITAL LTD.

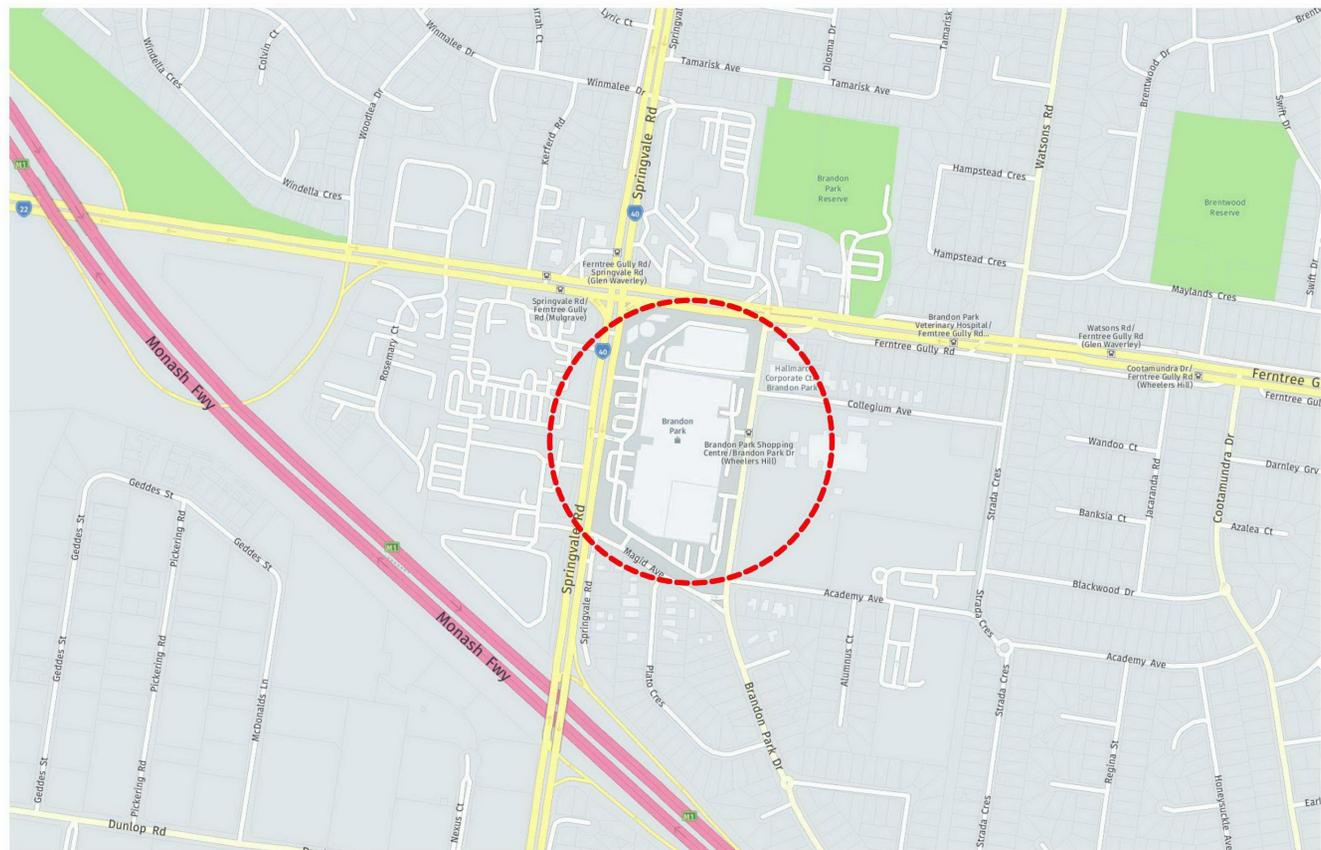
TOWN PLANNING SUBMISSION
 JULY 2022

Keyplan

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File
 BIM
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DRAWING LIST	
SHEET NUMBER	SHEET NAME
ATP-00001	COVER SHEET_SHEET LIST & LOCALITY PLAN
ATP-00101	SITE EXISTING PLAN
ATP-00102	SITE PLAN
ATP-05203	DEMOLITION GROUND FLOOR PLAN
ATP-05204	DEMOLITION LEVEL 01 PLAN
ATP-05201	EXISTING GROUND PLAN
ATP-05202	EXISTING LEVEL 01 PLAN
ATP-20002	PROPOSED LEVEL 01 PLAN
ATP-20004	PROPOSED LEVEL 02 PLAN
ATP-20005	PROPOSED LEVEL 03 PLAN
ATP-20006	PROPOSED LEVEL 04 PLAN
ATP-20007	PROPOSED LEVEL 05 PLAN
ATP-20008	PROPOSED LEVEL 06 PLAN
ATP-20009	PROPOSED ROOF PLAN
ATP-20001	PROPOSED GROUND LEVEL PLAN
ATP-20010	LEVEL 01 - OVERALL PARKING ALLOCATION PLAN
ATP-20011	PROPOSED TYPICAL SERVICED APARTMENT PLANS
ATP-40002	PROPOSED EAST & WEST ELEVATIONS
ATP-40001	PROPOSED NORTH & SOUTH ELEVATIONS
ATP-50001	PROPOSED SECTIONS
ATP-50002	STREET INTERFACE SECTION
ATP-60010	PROPOSED BUILDING IMAGERY
ATP-60012	PROPOSED BUILDING IMAGERY
ATP-60011	PROPOSED BUILDING IMAGERY
ATP-80001	DEVELOPMENT SCHEDULE
ATP-90001	EXISTING SHADOW ANALYSIS
ATP-90002	PROPOSED SHADOW ANALYSIS



LOCALITY PLAN
 SCALE 1 : 5000

BRANDON PARK SHOPPING CENTRE MIXED USE

Brandon Park Drive



Project Number
321100

Status

Date Plotted 14/07/22 10:20:34 PM

Date Issued

Scale As indicated @A1

Drawing Title
COVER SHEET_SHEET LIST & LOCALITY PLAN

Drawing Number
ATP-00001

Revision
2

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1	28/08/2022	Revision 1	XX	
2	15/07/2022	Revision 2		



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Project
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Brandon Park Drive



Project Number
321100

Status

Date Plotted 14/07/22 10:21:19 PM

Date Issued

Scale 1 : 1000 @A1

Drawing Title
SITE EXISTING PLAN

Drawing Number
ATP-00101

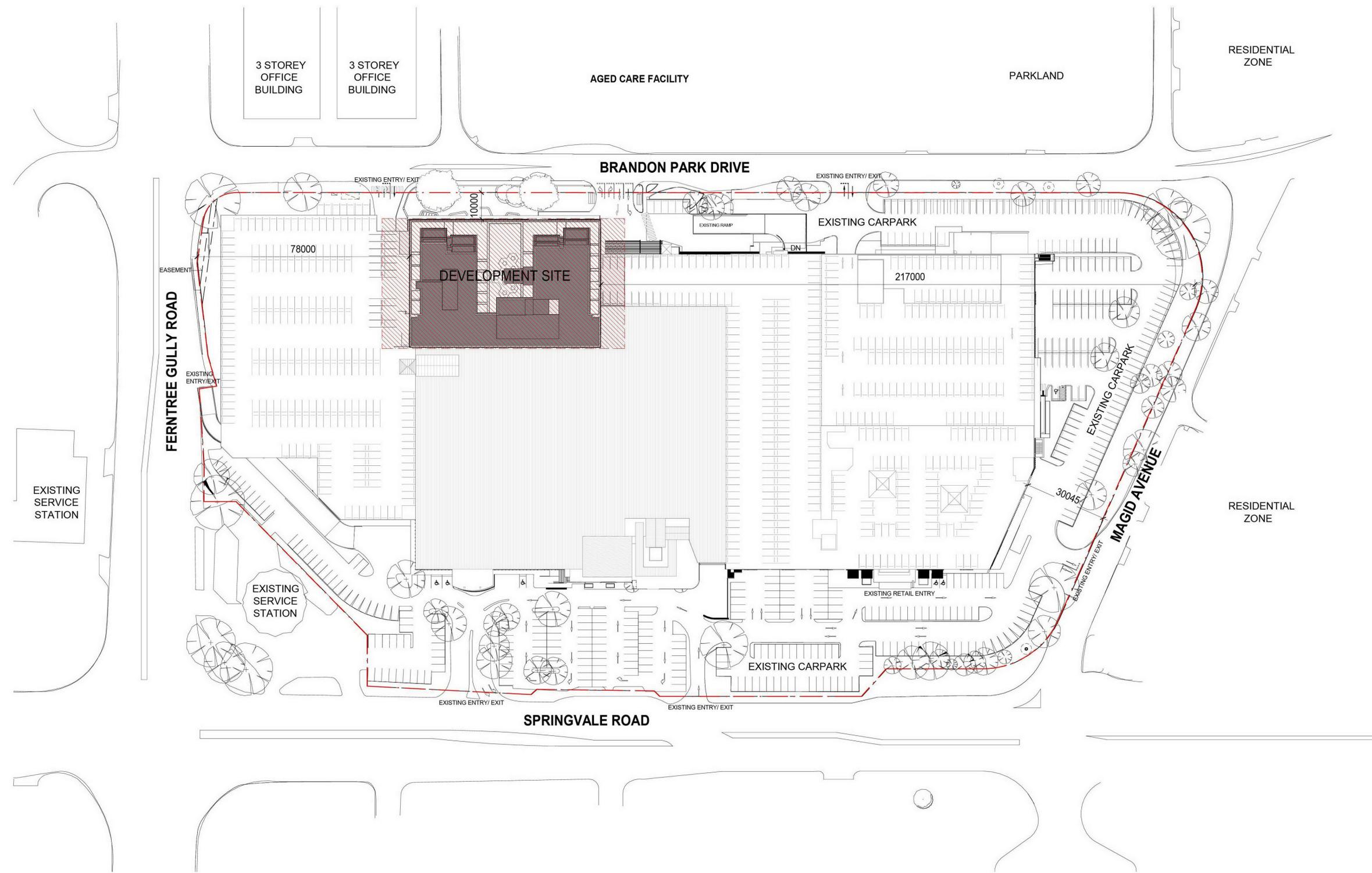
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321100

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Date Plotted 14/07/22 10:21:45 PM

Date Issued

Scale 1 : 750 @A1

Drawing Title
SITE PLAN

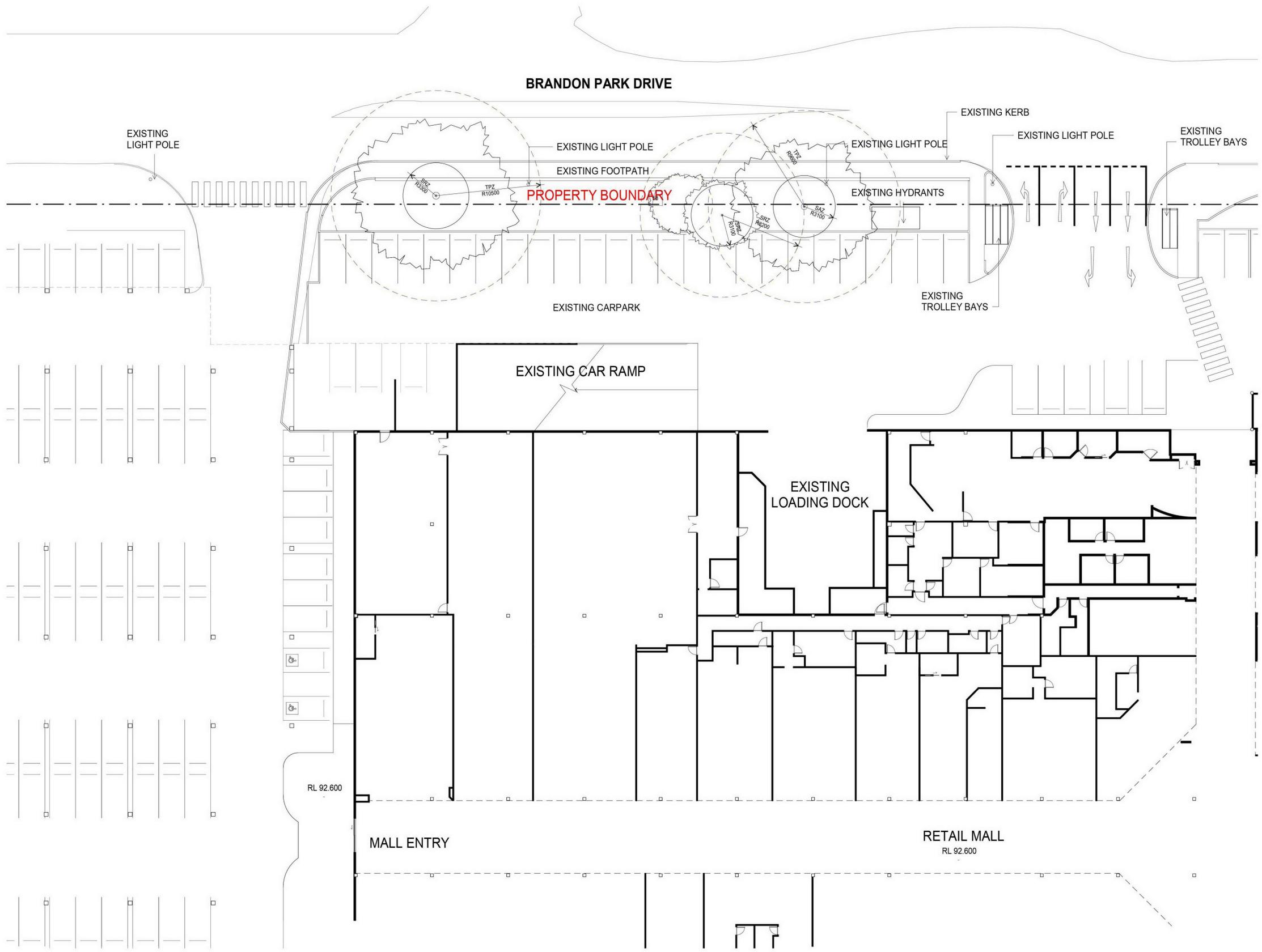
Drawing Number
ATP-00102

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2

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321100
 Status
 Date Plotted 14/07/22 10:22:35 PM
 Date Issued
 Scale 1 : 200 @A1

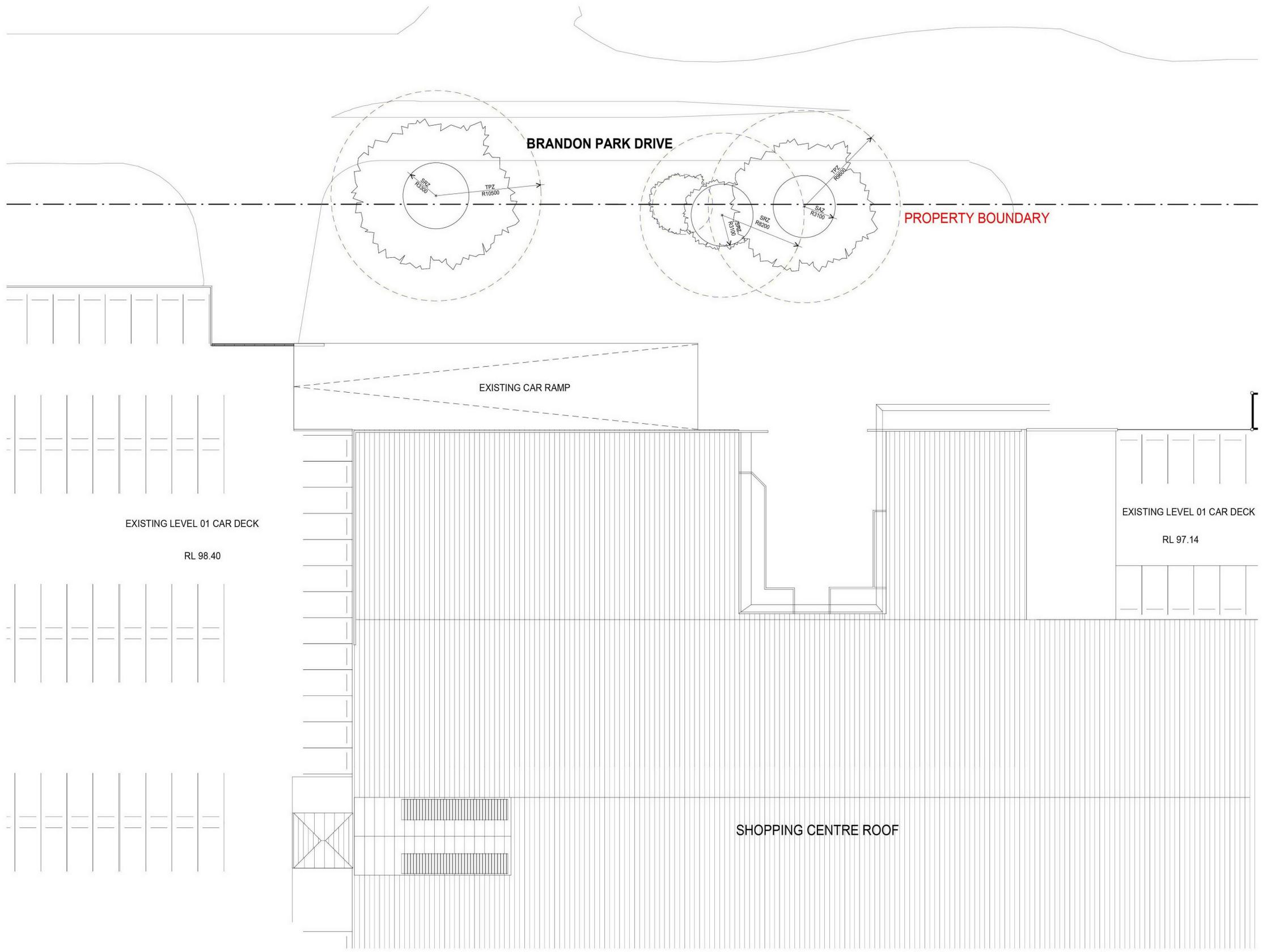
Drawing Title
EXISTING GROUND PLAN

Drawing Number
ATP-05201 Revision
2

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321100
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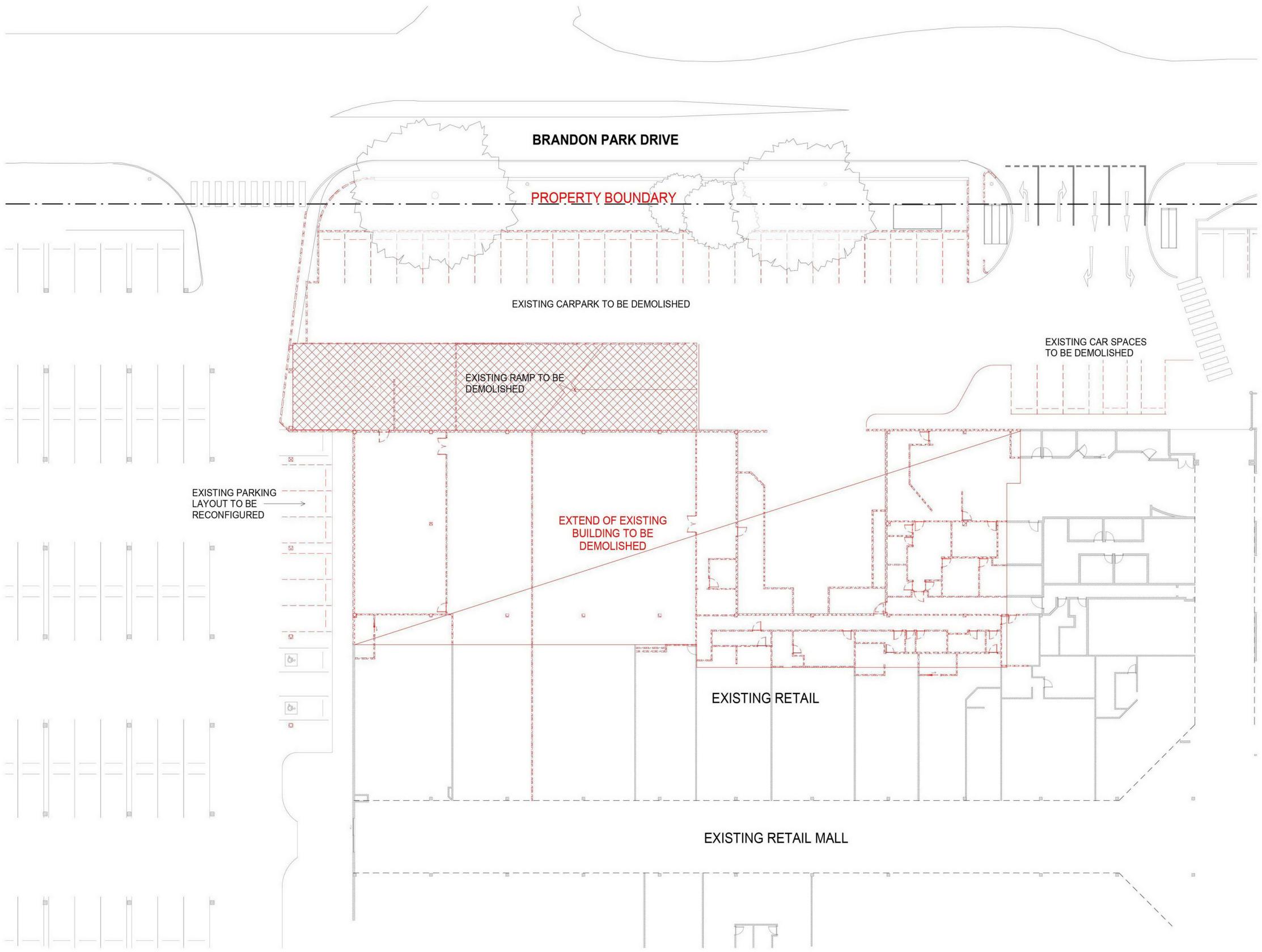
Drawing Title
EXISTING LEVEL 01 PLAN

Drawing Number
ATP-05202 Revision
2

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Drawing Title
DEMOLITION GROUND FLOOR PLAN

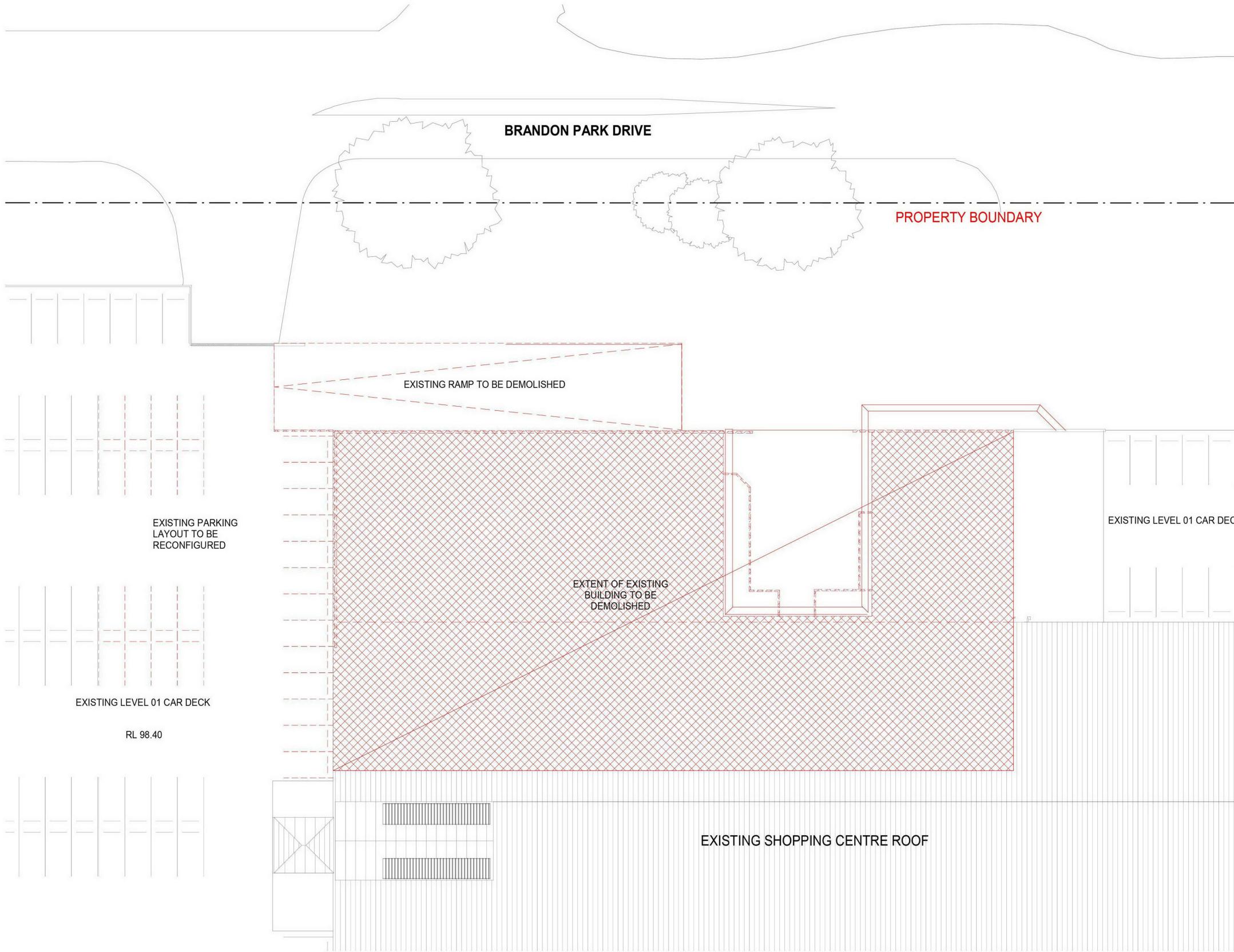
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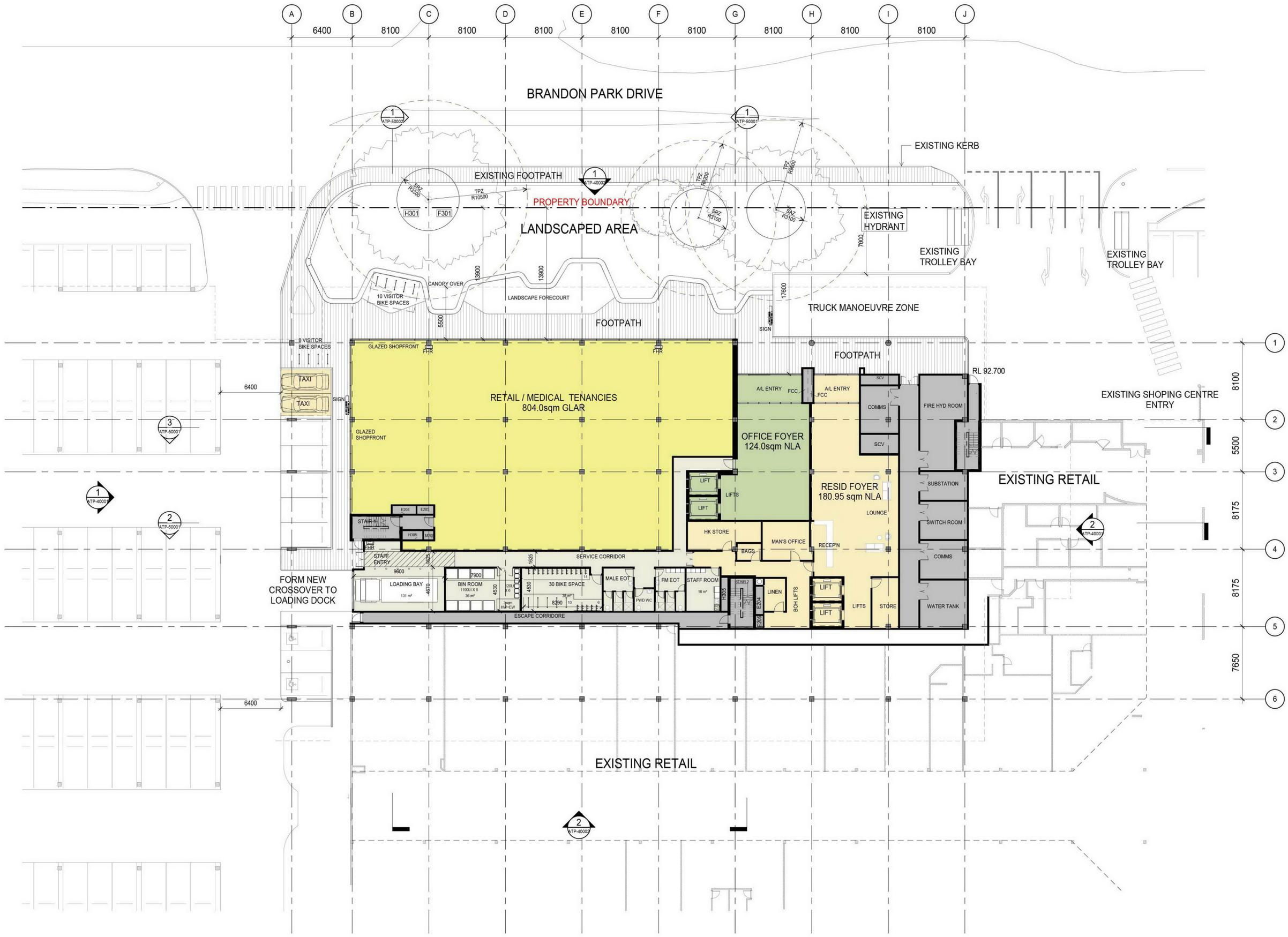
Project Number
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 Date Plotted 14/07/22 10:49:50 PM
 Date Issued
 Scale 1 : 200 @A1

Drawing Title
DEMOLITION LEVEL 01 PLAN

Drawing Number
ATP-05204 Revision
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Date Issued

Scale 1 : 200 @A1

Drawing Title
PROPOSED GROUND LEVEL PLAN

Drawing Number
ATP-20001

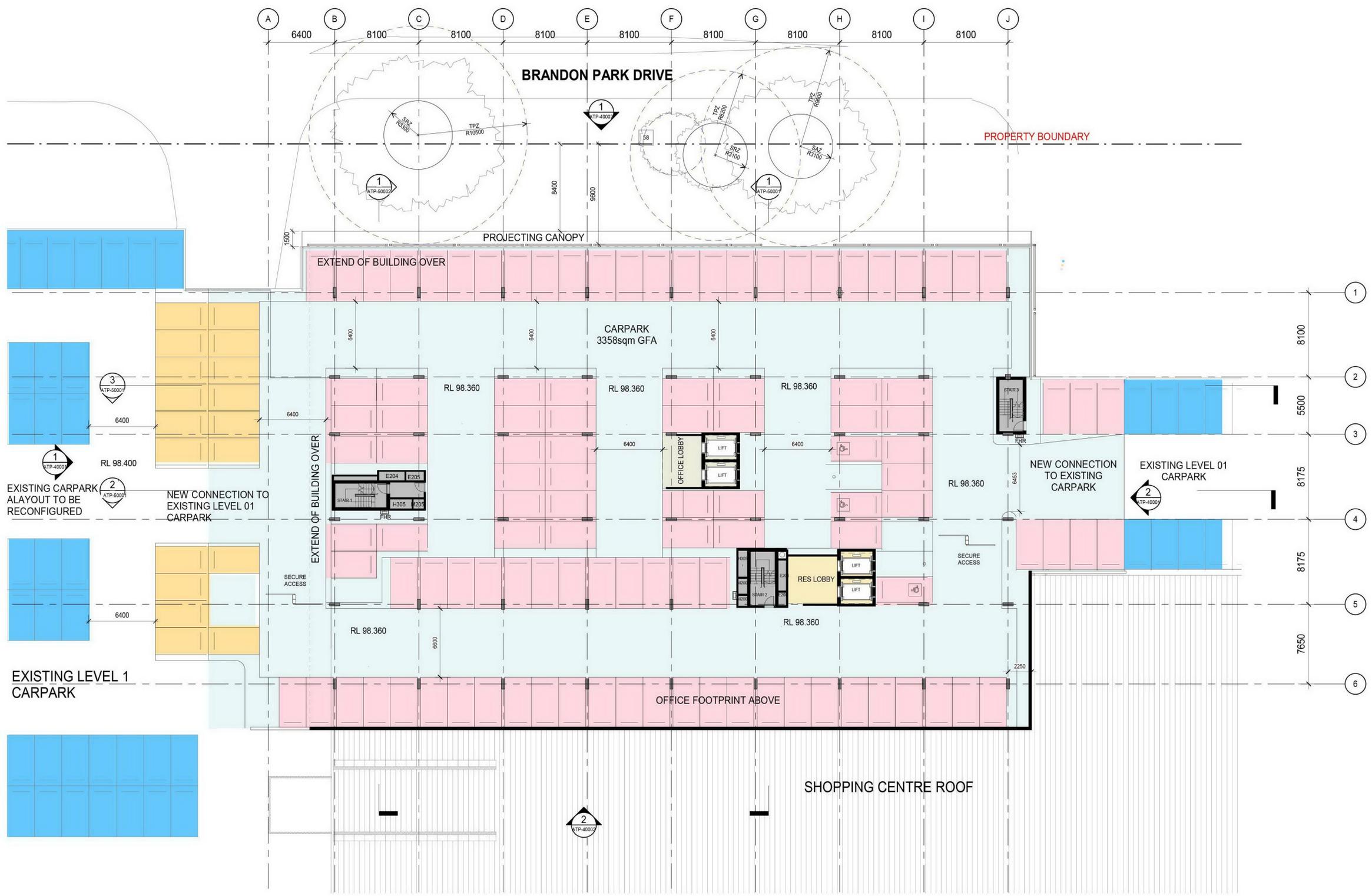
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- EXISTING CAR SPACES
- RECONFIGURED CAR SPACES 18 SPACES
- NEW CAR SPACES 110 SPACES

Project
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321100

Status

Date Plotted 14/07/22 10:37:54 PM

Date Issued

Scale As indicated @A1

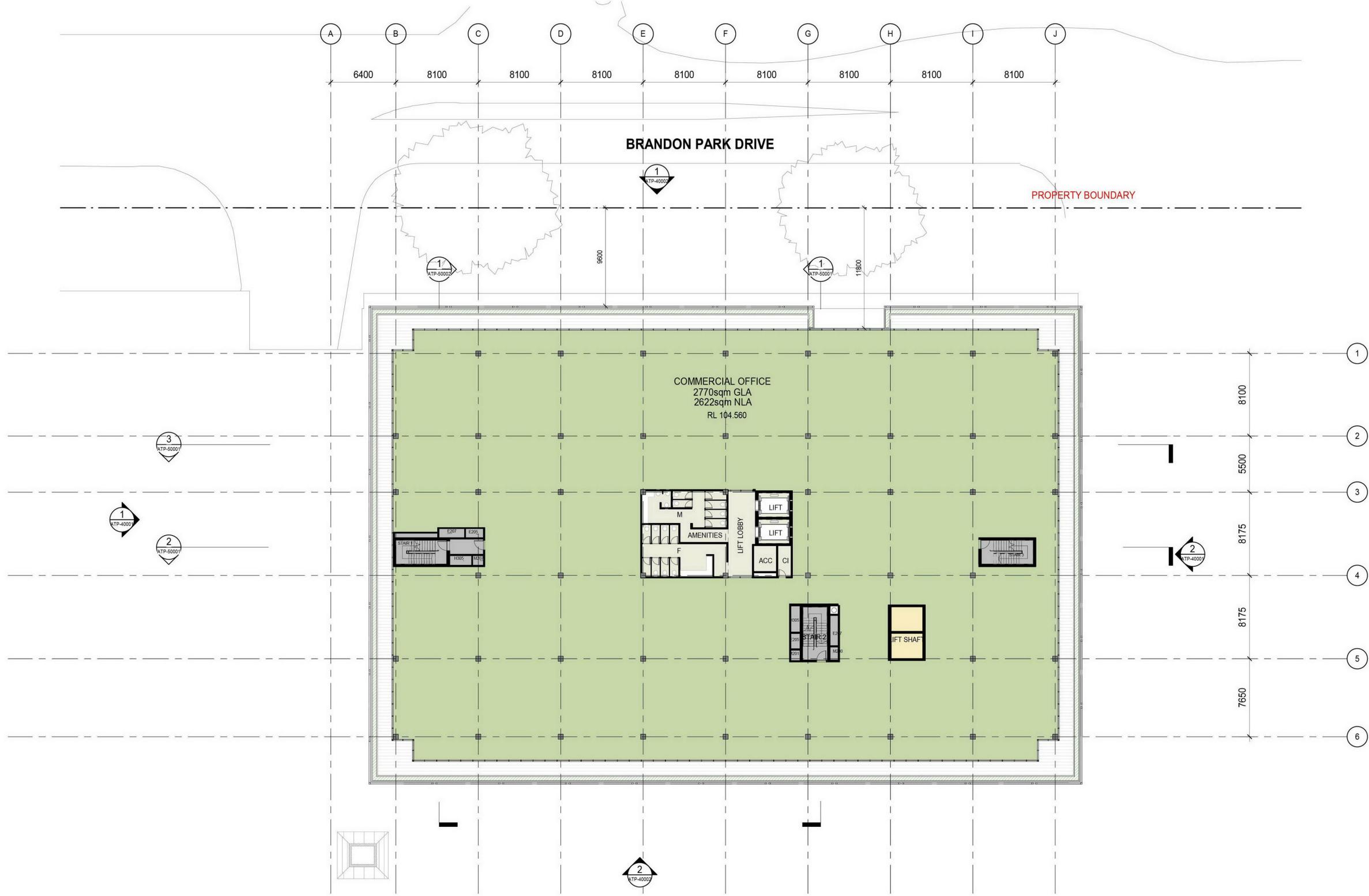
Drawing Title
PROPOSED LEVEL 01 PLAN

Drawing Number
ATP-20002

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Drawing Title
PROPOSED LEVEL 03 PLAN

Drawing Number
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UNIT	No.
1B	13
2B	2
ST	19
TOTAL	34

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Scale 1 : 200 @A1

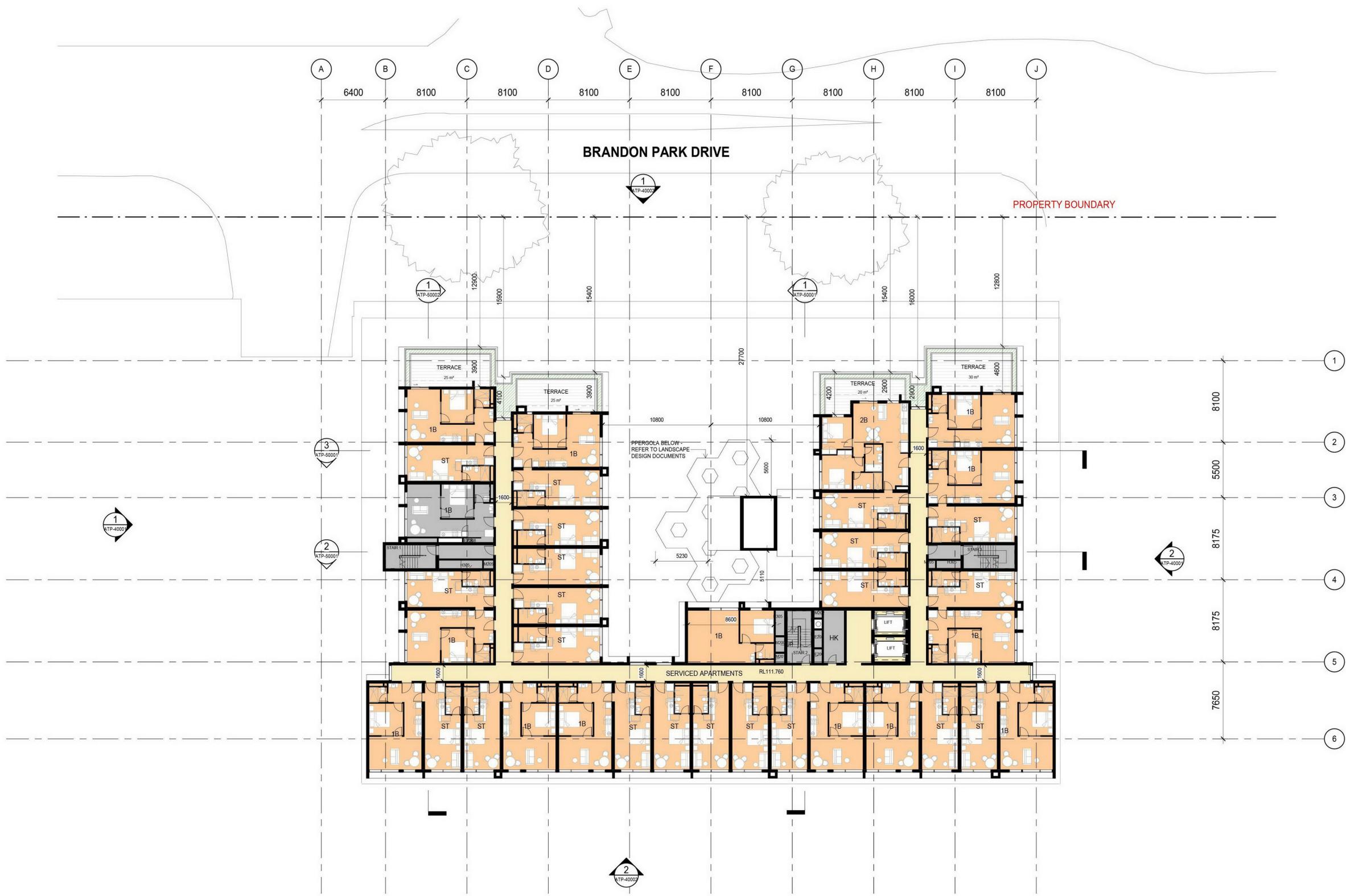
Drawing Title
PROPOSED LEVEL 04 PLAN

Drawing Number
ATP-20006

Revision
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Unit	No.
1B	14
2B	1
ST	21
TOTAL	36

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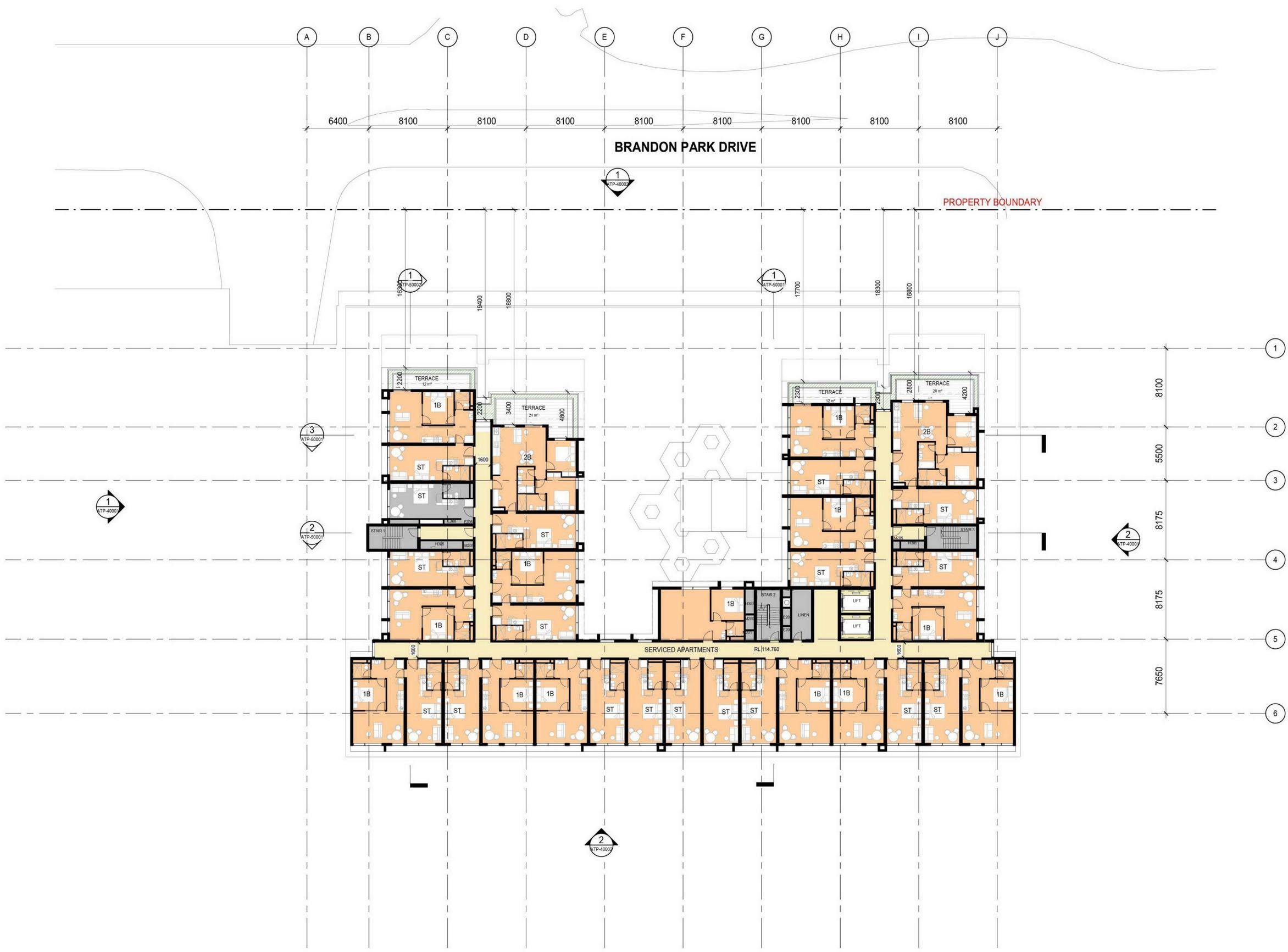
Drawing Title
PROPOSED LEVEL 05 PLAN

Drawing Number
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UNIT	No.
1B	13
2B	2
ST	18
TOTAL	33

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Project Number
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Date Plotted 14/07/22 10:44:23 PM

Date Issued

Scale As indicated @A1

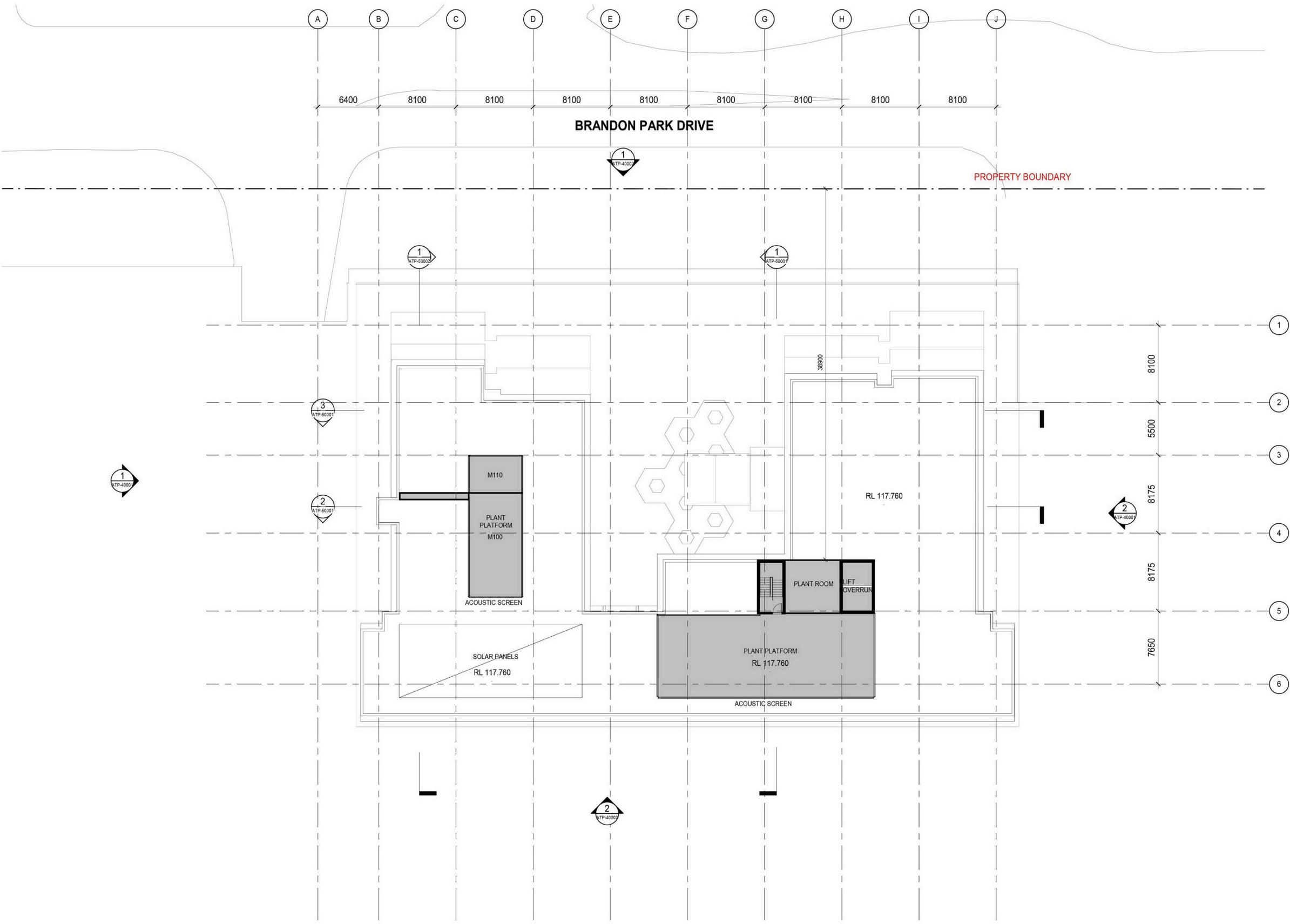
Drawing Title
PROPOSED LEVEL 06 PLAN

Drawing Number
ATP-20008

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Project Number
321100

Status

Date Plotted 14/07/22 10:44:51 PM

Date Issued 10/06/22

Scale 1 : 200 @A1

Drawing Title
PROPOSED ROOF PLAN

Drawing Number
ATP-20009

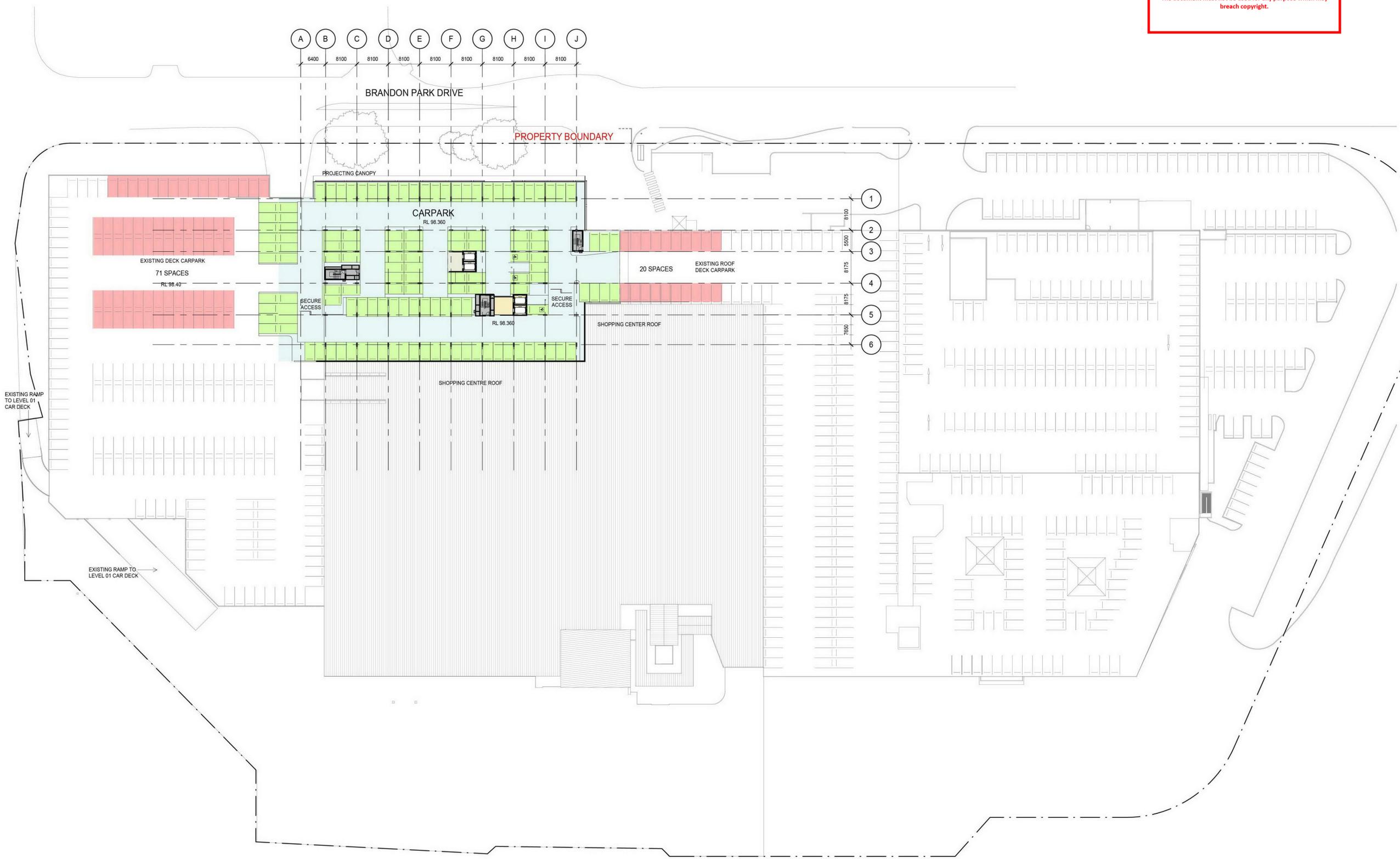
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TOTAL PARKING ALLOCATION FOR SERVICED APARTMENTS AND OFFICE USE - 219 CAR SPACES

- 128 CAR SPACES PROVIDED IN NEW AND RECONFIGURED CARPARK
- 91 CAR SPACES ALLOCATED TO EXISTING LEVEL 1 CARPARK

Project
BRANDON PARK SHOPPING CENTRE MIXED USE

Brandon Park Drive



Project Number
321100
 Status
 Date Plotted 14/07/22 10:30:27 PM
 Date Issued
 Scale 1 : 500 @A1

Drawing Title
LEVEL 01 - OVERALL PARKING ALLOCATION PLAN

Drawing Number
ATP-20010 Revision **2**

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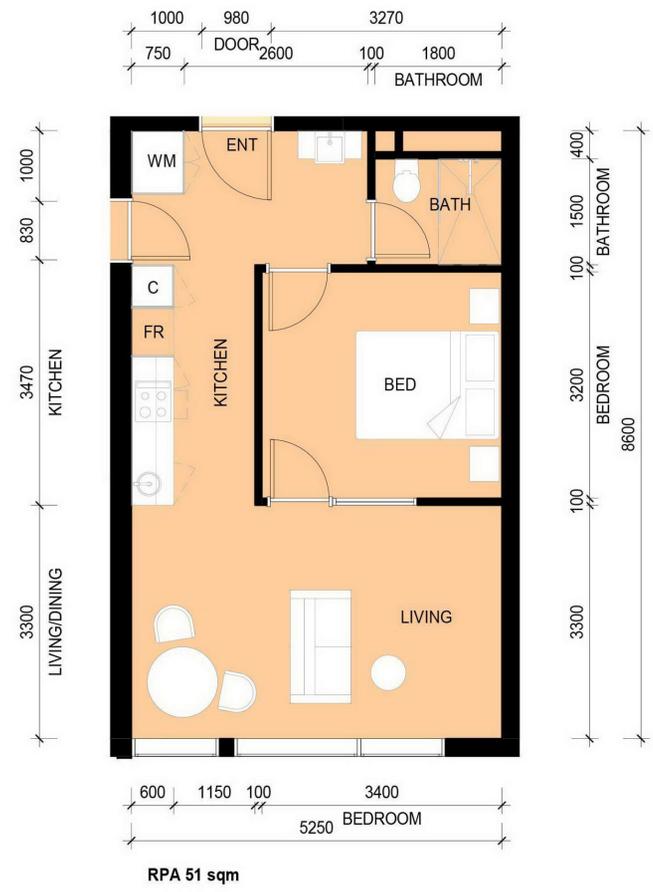
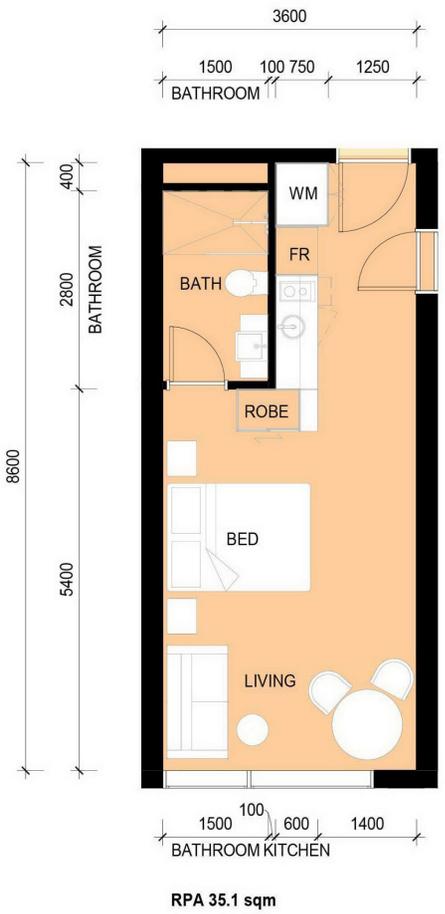
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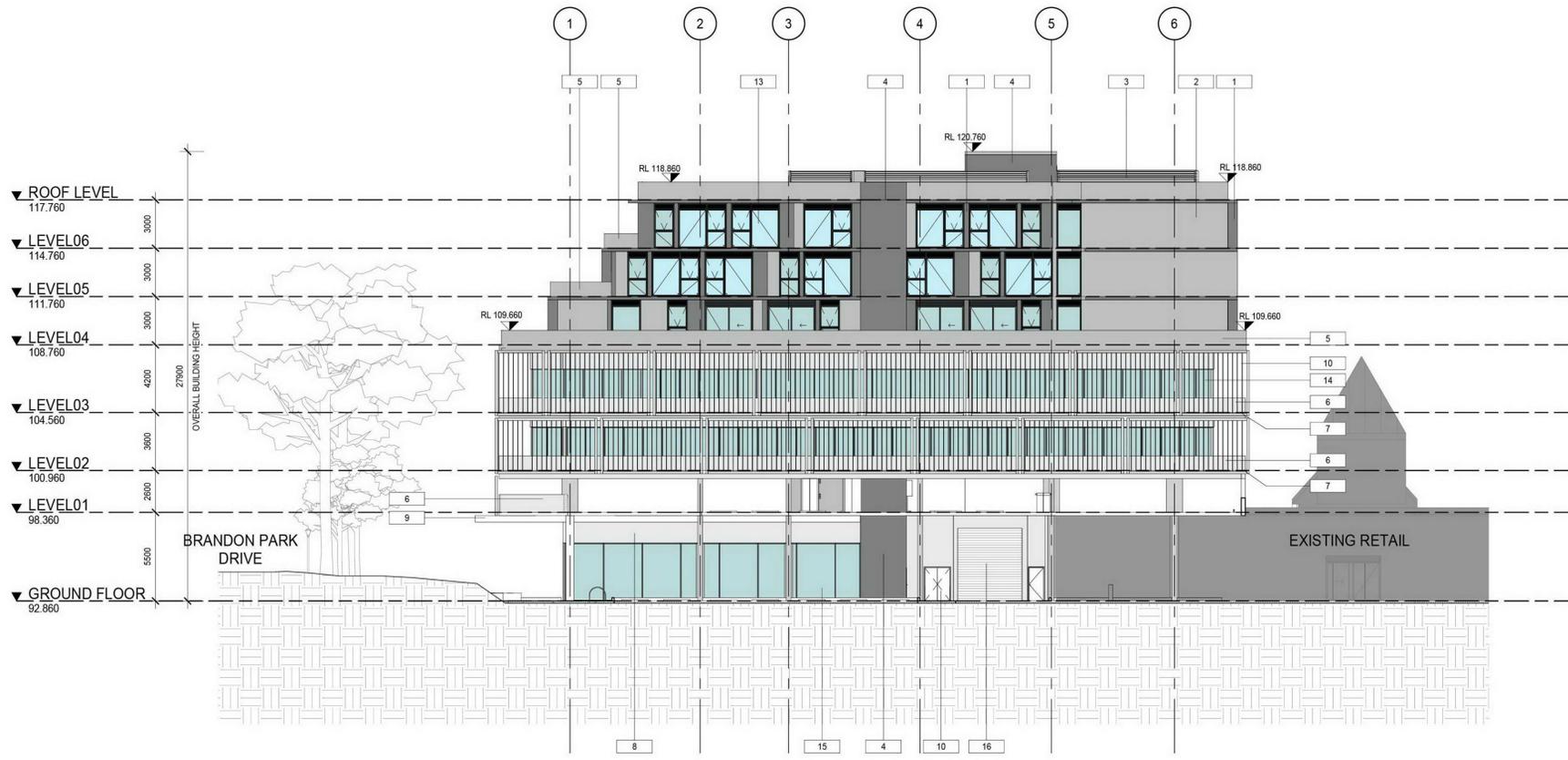
Project Number	321100
Status	
Date Plotted	14/07/22 10:30:52 PM
Date Issued	
Scale	1 : 50 @A1

Drawing Title
PROPOSED TYPICAL SERVICED APARTMENT PLANS

Drawing Number	ATP-20011	Revision	2
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NORTH ELEVATION
SCALE 1 : 200

EXTERNAL FINISHES.

1. COLORBOND FINISH TO METAL WALL PANEL - DARK GREY.
2. COLORBOND FINISH TO METAL WALL PANEL - MID GREY.
3. COLORBOND FINISH TO ACOUSTIC LOUVRE SCREEN - MID GREY.
4. PAINT FINISH CONCRETE PANEL - DARK GREY.
5. PAINT FINISH CONCRETE PLANTER/UPSTAND - MID GREY.
6. PAINT FINISH CONCRETE PLANTER/UPSTAND - WHITE.
7. PAINT FINISH SLAB EDGE - WHITE.
8. PAINT FINISH TO CONCRETE PANEL - WHITE.
9. COLORBOND FINISH TO METAL CANOPY CLADDING.
10. GALVANISED FINISH TO STEEL SCREEN FRAMING WITH STAINLESS STEEL PLANTING WIRE.
11. POWDERCOAT ACCESS DOOR - DARK GREY.
12. PAINT FINISH CONCRETE PANEL - MID GREY.
13. DOUBLE GLAZED WINDOWS - GREY TINT WITH SILVER POWDERCOAT FRAMING - DARK GREY.
14. DOUBLE GLAZED WINDOWS - GREEN TINT WITH SILVER POWDERCOAT FRAMING .
15. SHOPFRONT GLAZING - CLEAR GLAZED WITH SILVER POWDERCOAT FRAMING .
16. POWDERCOATED ROLLER DOOR - DARK GREY .

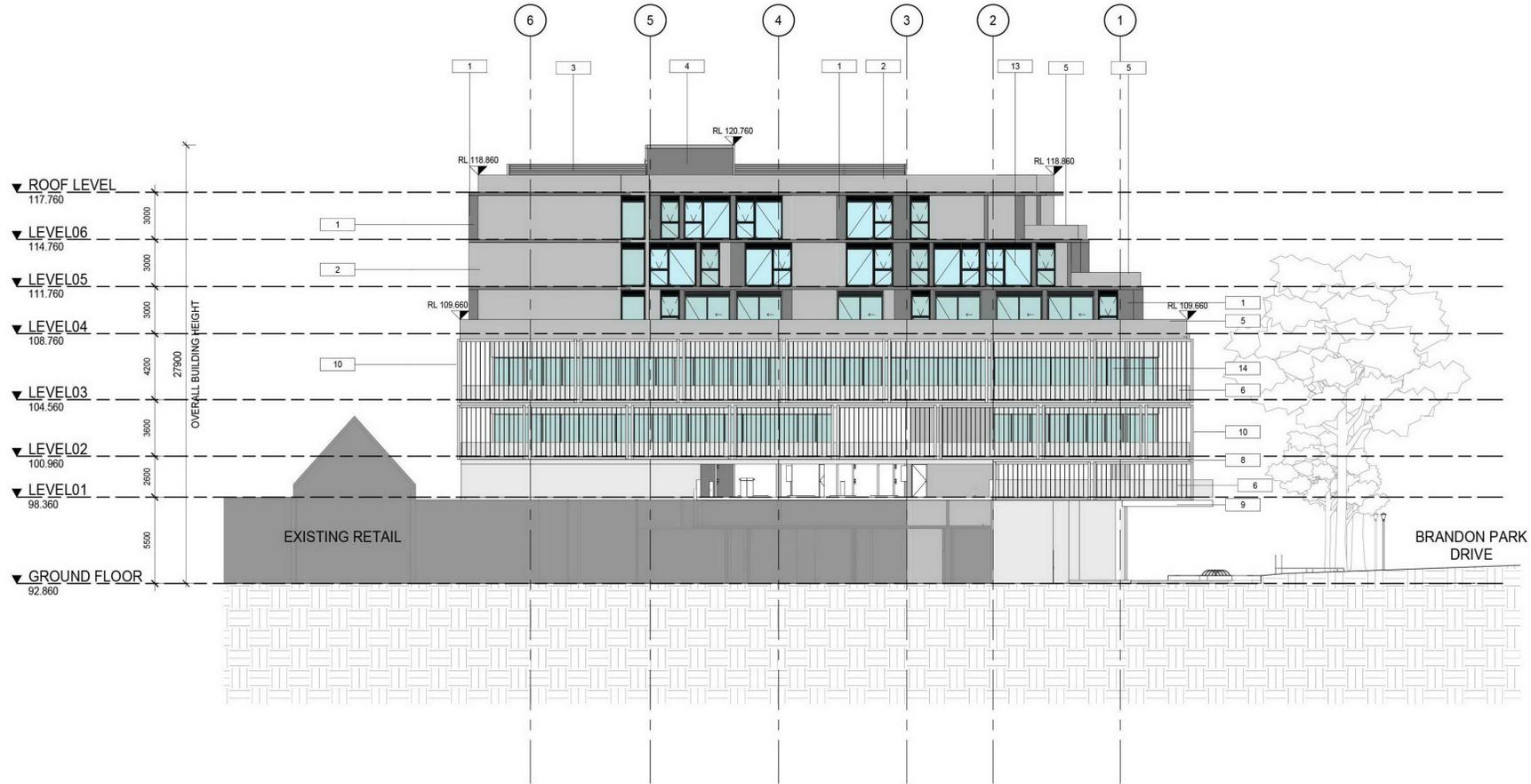
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SOUTH ELEVATION
SCALE 1 : 200

Project
BRANDON PARK SHOPPING CENTRE MIXED USE

Brandon Park Drive



Project Number
321100

Status

Date Plotted 14/07/22 10:31:37 PM

Date Issued

Scale 1 : 200 @A1

Drawing Title
PROPOSED NORTH & SOUTH ELEVATIONS

Drawing Number
ATP-40001

Revision
2

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EAST ELEVATION

SCALE 1 : 200

- EXTERNAL FINISHES.**
- COLORBOND FINISH TO METAL WALL PANEL - DARK GREY.
 - COLORBOND FINISH TO METAL WALL PANEL - MID GREY.
 - COLORBOND FINISH TO ACOUSTIC LOUVRE SCREEN - MID GREY.
 - PAINT FINISH CONCRETE PANEL - DARK GREY.
 - PAINT FINISH CONCRETE PLANTER/UPSTAND - MID GREY.
 - PAINT FINISH CONCRETE PLANTER/UPSTAND - WHITE.
 - PAINT FINISH SLAB EDGE - WHITE.
 - PAINT FINISH TO CONCRETE PANEL - WHITE.
 - COLORBOND FINISH TO METAL CANOPY CLADDING.
 - GALVANISED FINISH TO STEEL SCREEN FRAMING WITH STAINLESS STEEL PLANTING WIRE.
 - POWDERCOAT ACCESS DOOR - DARK GREY.
 - PAINT FINISH CONCRETE PANEL - MID GREY.
 - DOUBLE GLAZED WINDOWS - GREY TINT WITH SILVER POWDERCOAT FRAMING - DARK GREY.
 - DOUBLE GLAZED WINDOWS - GREEN TINT WITH SILVER POWDERCOAT FRAMING.
 - SHOPFRONT GLAZING - CLEAR GLAZED WITH SILVER POWDERCOAT FRAMING.
 - POWDERCOATE ROLLER DOOR - DARK GREY.

Rev.	Date	Description	Iss.	Appr.
1	28/08/2022	Revision 1	XX	
2	15/07/2022	Revision 2		

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WEST ELEVATION

SCALE 1 : 200

Project
BRANDON PARK SHOPPING CENTRE MIXED USE

Brandon Park Drive



Project Number
321100

Status

Date Plotted 14/07/22 10:32:07 PM

Date Issued

Scale

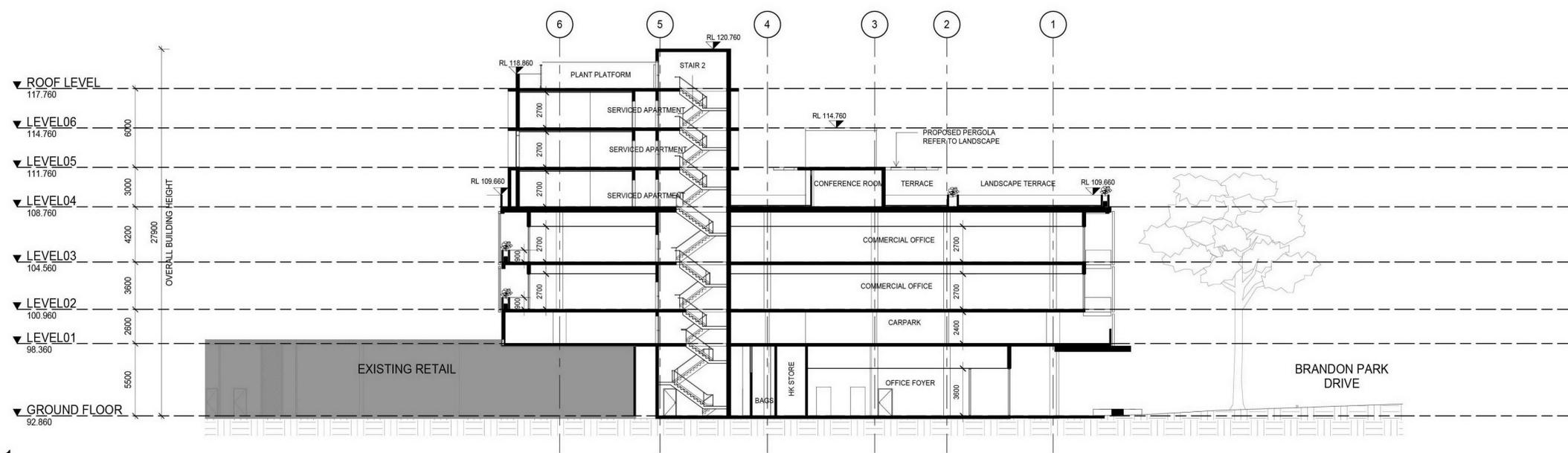
Drawing Title
PROPOSED EAST & WEST ELEVATIONS

Drawing Number
ATP-40002

Revision
2

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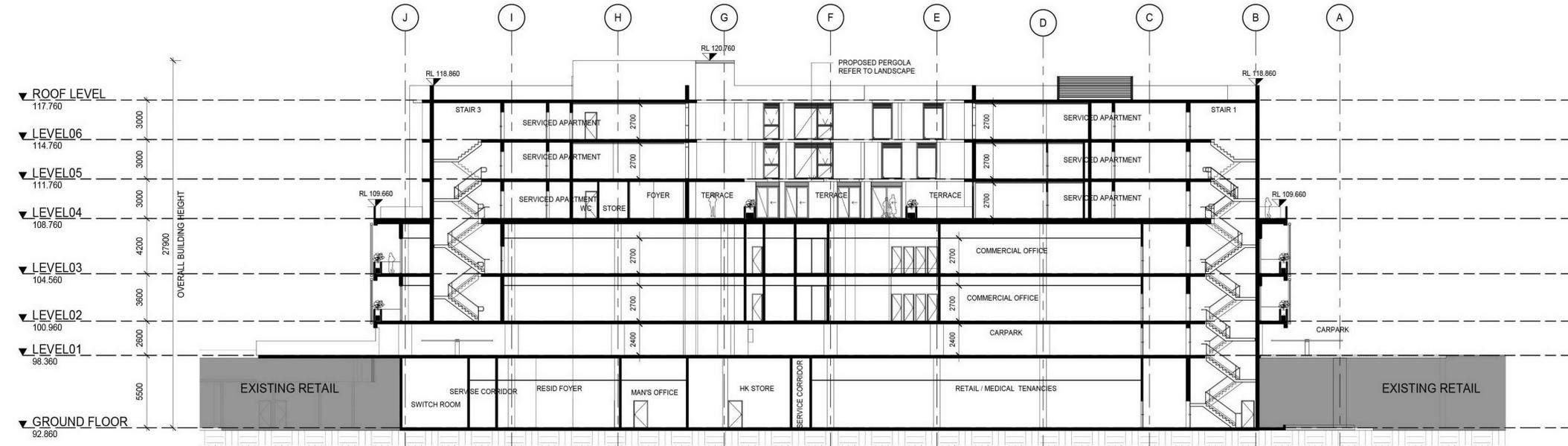
SECTION 1
SCALE 1 : 200

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SECTION 2
SCALE 1 : 200

Project
BRANDON PARK SHOPPING CENTRE MIXED USE

Brandon Park Drive



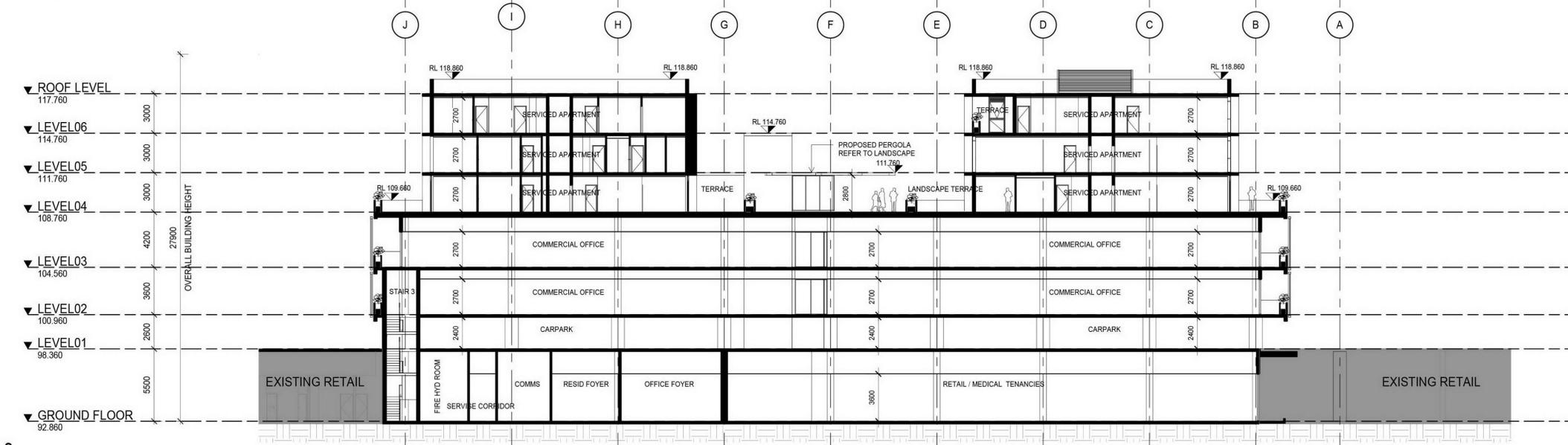
Project Number
321100
Status
Date Plotted 14/07/22 10:32:34 PM
Date Issued
Scale 1 : 200 @A1

Drawing Title
PROPOSED SECTIONS

Drawing Number
ATP-50001 Revision **2**

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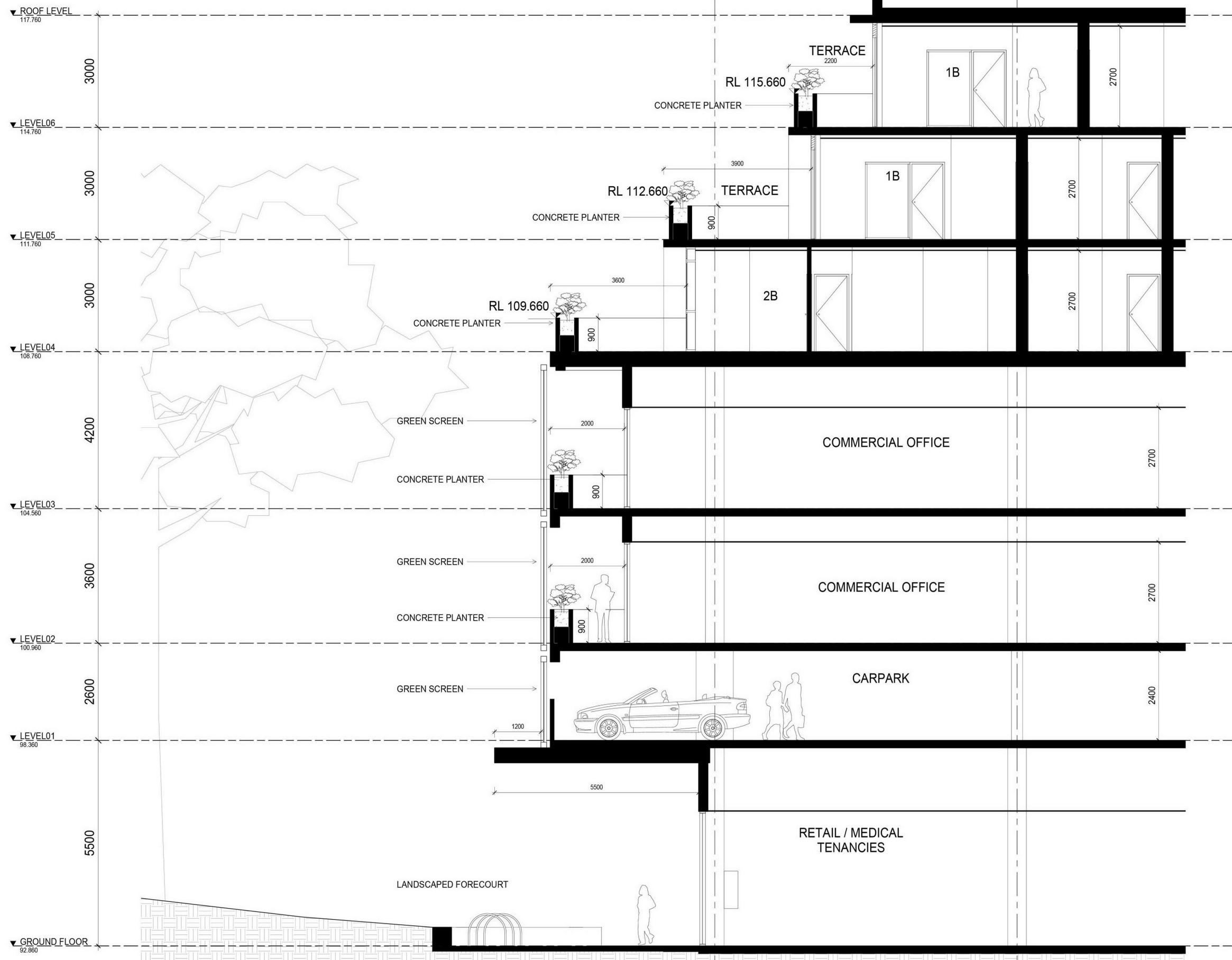


SECTION 3
SCALE 1 : 200

1

2

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2	15/07/2022	Revision 2		



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Project
BRANDON PARK SHOPPING CENTRE MIXED USE

Brandon Park Drive



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321100

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Date Issued

Scale 1 : 50 @A1

Drawing Title
STREET INTERFACE SECTION

Drawing Number
ATP-50002

Revision
2

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VIEW FROM BRANDON PARK DRIVE
LOOKING SOUTH-WEST

Keyplan

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Project
**BRANDON PARK
SHOPPING CENTRE
MIXED USE**

Brandon Park Drive



Project Number
321100
Status
Date Plotted 14/07/22 10:33:14 PM
Date Issued
Scale

Drawing Title
PROPOSED BUILDING IMAGERY

Drawing Number
ATP-60010 Revision
2

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VIEW FROM BRANDON PARK DRIVE
LOOKING NORTH-WEST

Project
**BRANDON PARK
 SHOPPING CENTRE
 MIXED USE**

Brandon Park Drive



Project Number
321100

Status

Date Plotted 14/07/22 10:33:34 PM

Date Issued

Scale

Drawing Title
PROPOSED BUILDING IMAGERY

Drawing Number
ATP-60011

Revision
2

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GREEN SCREEN BENCHMARK IMAGES



VIEW OF SERVICED APARTMENTS FROM LEVEL 4 TERRACE



VIEW OF GREEN SCREEN FROM LEVEL 02 BALCONNY

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Project
BRANDON PARK SHOPPING CENTRE MIXED USE

Brandon Park Drive



Project Number
321100
 Status
 Date Plotted 14/07/22 10:33:54 PM
 Date Issued
 Scale

Drawing Title
PROPOSED BUILDING IMAGERY

Drawing Number
ATP-60012
 Revision
2

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DEVELOPMENT SCHEDULE

Serviced Apartments														
sqm	Lobby	BoH	Studio Unit		1Bed Unit		2Bed Unit		Total	Gym	Conference	RPA	Bal	GFA
	NLA	NLA	No.	RPA	No.	RPA	No.	RPA	No.	NLA	NLA	sqm	sqm	sqm
Ground	180.95	120.3	-	-	-	-	-	-	-	-	-	-	-	-
Level 04	-	-	19	666.9	13	658.0	2	155.4	34	45.1	118.8	1480.3	573.3	1990.3
Level 05	-	-	21	736.1	13	708.7	1	77.6	35	-	-	1522.4	86.2	1852.0
Level 06	-	-	18	628.8	13	659.0	2	155.1	33	-	-	1442.9	53.3	1766.0
Total			58 57%	2031.8	39 38%	2025.7	5 5%	388.1	102			4,445.6	712.8	5,608.3

Commercial Office	
sqm	NLA
Ground	124.0
Level 02	2618.0
Level 03	2622.0
Total	5,364.0 sqm

Retail / Medical	
sqm	GLAR
Ground	804.0 sqm

Common Back of House Facilities	
sqm	NLA
Ground	290.0 sqm

Carpark		
sqm	New Car Spaces	New Build GFA
Level 1	110	3,358 sqm

Project GFA	
Level	GFA
Ground	1898.9
Level 01	3358.0
Level 02	2782.7
Level 03	2769.5
Level 04	1990.3
Level 05	1852.0
Level 06	1766.0
Total	16,417.4 sqm

Residential Property Area (RPA), Nett Lettable Area (NLA), Balcony (Bal) and Gross Lettable Area Retail (GLAR) have been calculated based on the definitions of the Property Council of Australia Method of Measurement. Gross Floor Area (GFA) is defined as the fully enclosed covered area measured to the outside face of the perimeter wall.

Keyplan

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Project
**BRANDON PARK
SHOPPING CENTRE
MIXED USE**

Brandon Park Drive

 **Newmark**

Project Number
321100

Status

Date Plotted 14/07/22 10:34:13 PM

Date Issued

Scale

Drawing Title

DEVELOPMENT SCHEDULE

Drawing Number
ATP-80001

Revision

2

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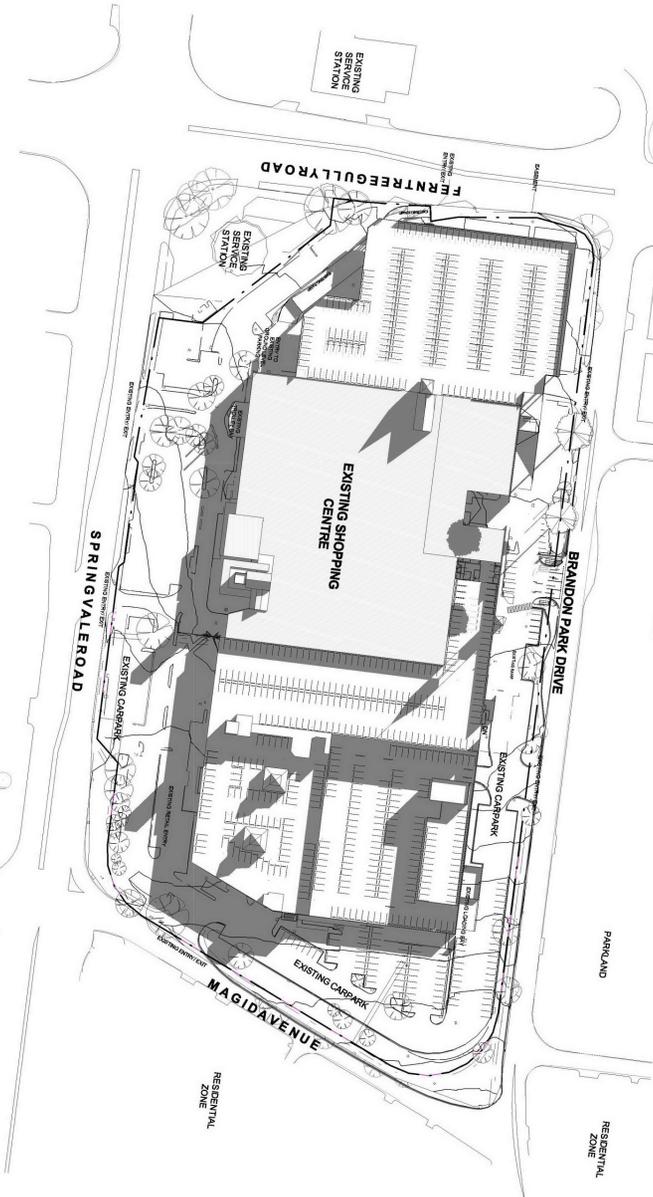
Rev.	Date	Description	Iss.	Appr.
1	29/09/2022	Revision 1	XX	
2	15/07/2022	Revision 2		

Keyplan

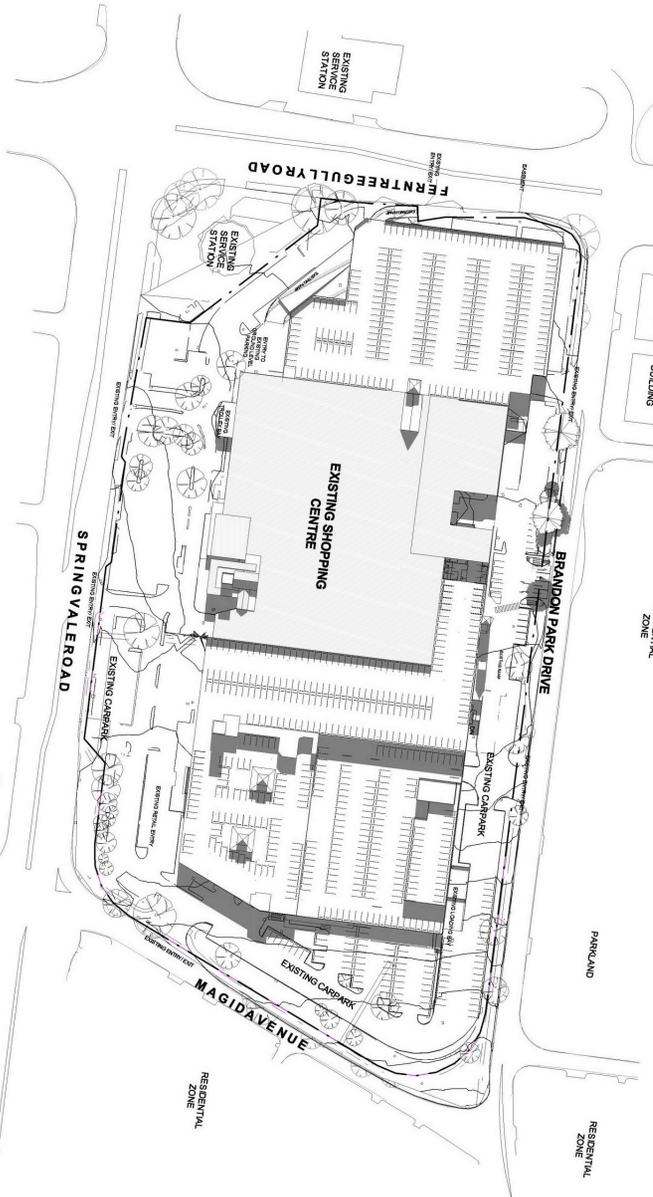
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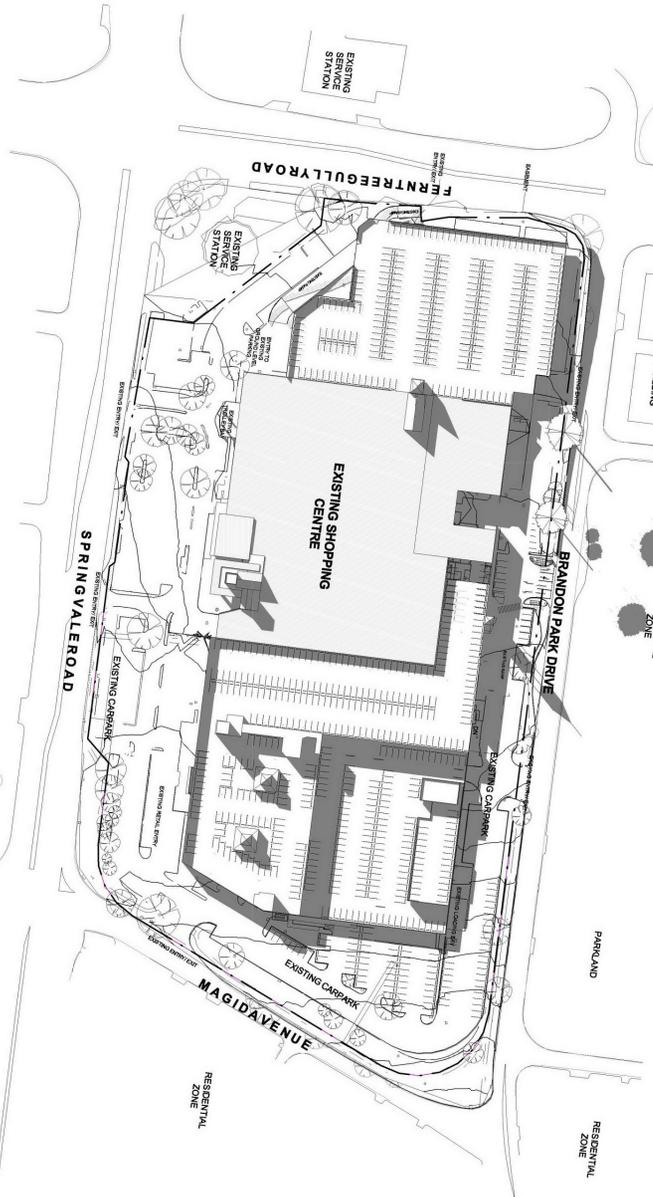
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EXISTING SHADOW ANALYSIS_JUNE 9AM
 SCALE 1 : 1500



EXISTING SHADOW ANALYSIS_JUNE 12PM
 SCALE 1 : 1500



EXISTING SHADOW ANALYSIS_JUNE 3PM
 SCALE 1 : 1500

Project
BRANDON PARK SHOPPING CENTRE MIXED USE

Brandon Park Drive



Project Number	321100
Status	
Date Plotted	14/07/22 10:34:38 PM
Date Issued	
Scale	1 : 1500 @A1

Drawing Title
EXISTING SHADOW ANALYSIS

Drawing Number	ATP-90001	Revision	2
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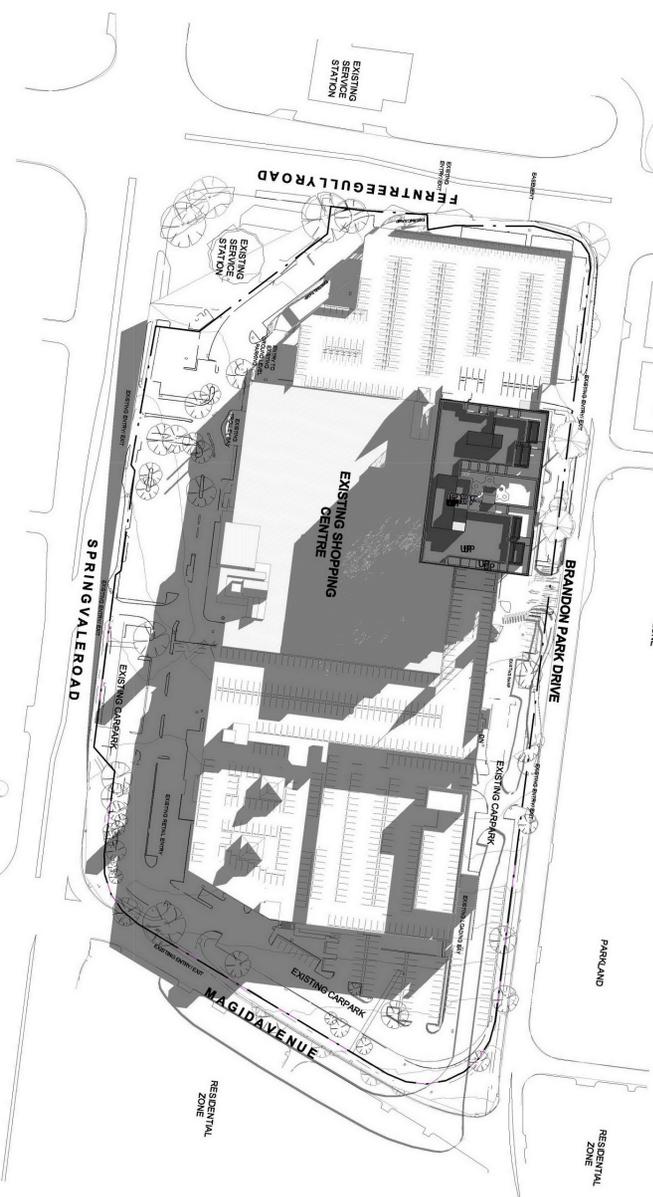
Rev.	Date	Description	Iss.	Appr.
1	29/09/2022	Revision 1	XX	
2	15/07/2022	Revision 2		

Keyplan

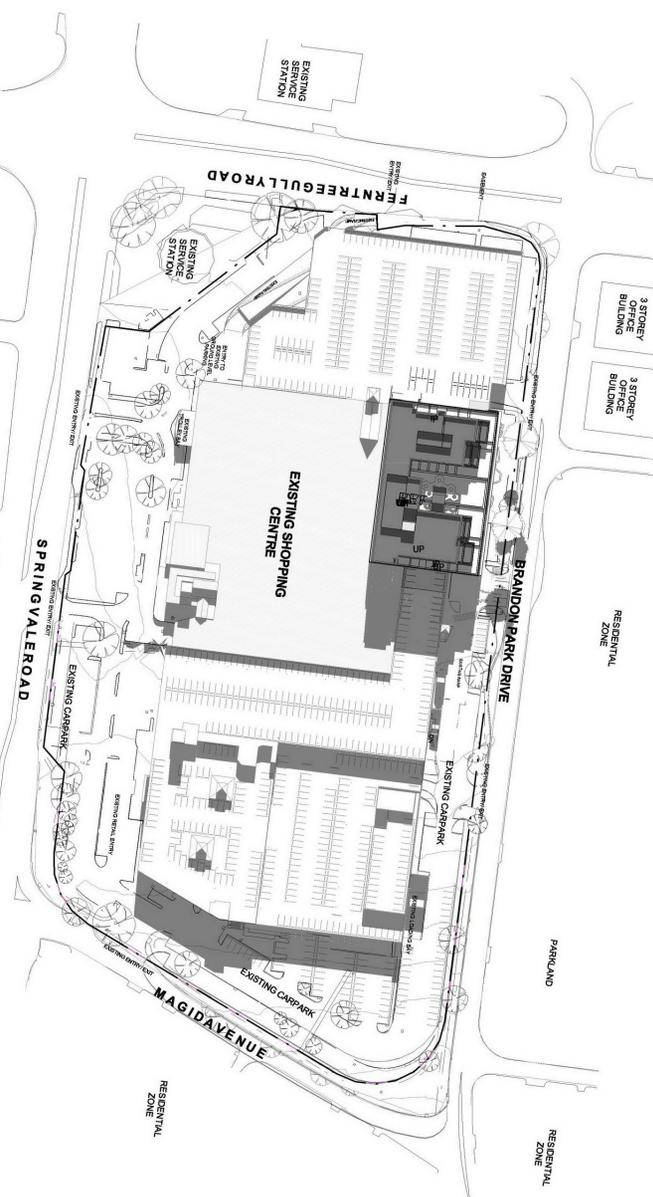
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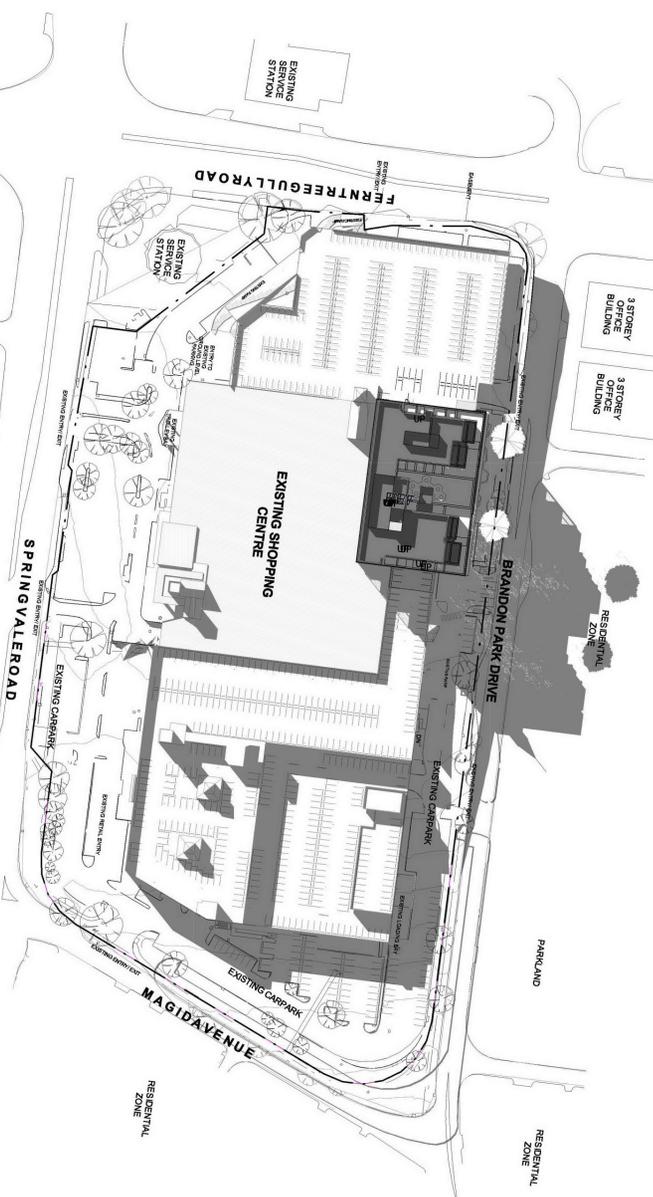
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PROPOSED SHADOW ANALYSIS JUNE 9AM
SCALE 1 : 1500



PROPOSED SHADOW ANALYSIS JUNE 12PM
SCALE 1 : 1500



PROPOSED SHADOW ANALYSIS JUNE 3PM
SCALE 1 : 1500

Project BRANDON PARK SHOPPING CENTRE MIXED USE

Brandon Park Drive

Project Number	321100
Status	
Date Plotted	14/07/22 10:35:26 PM
Date Issued	
Scale	1 : 1500 @A1

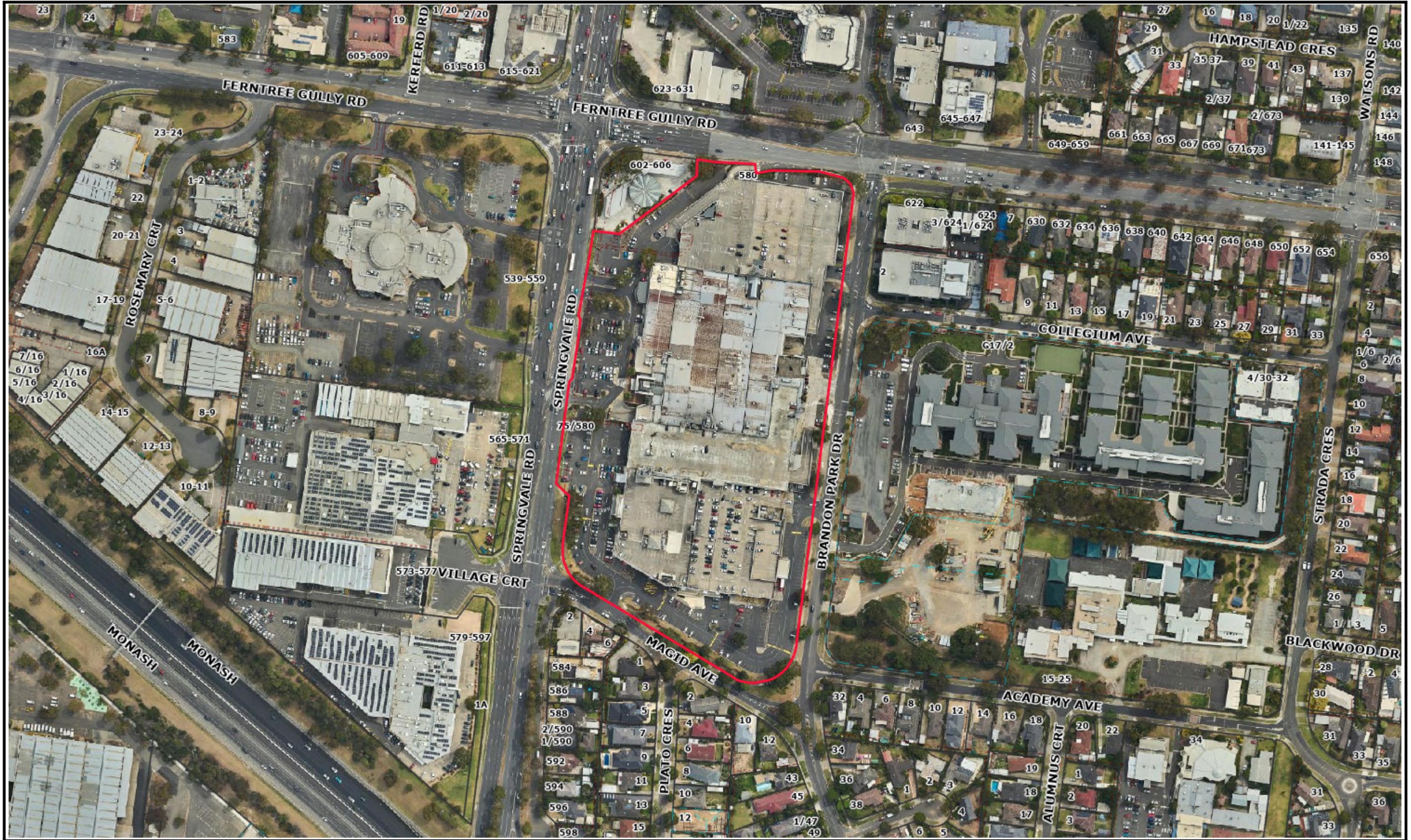
Drawing Title
PROPOSED SHADOW ANALYSIS

Drawing Number	ATP-90002	Revision	2
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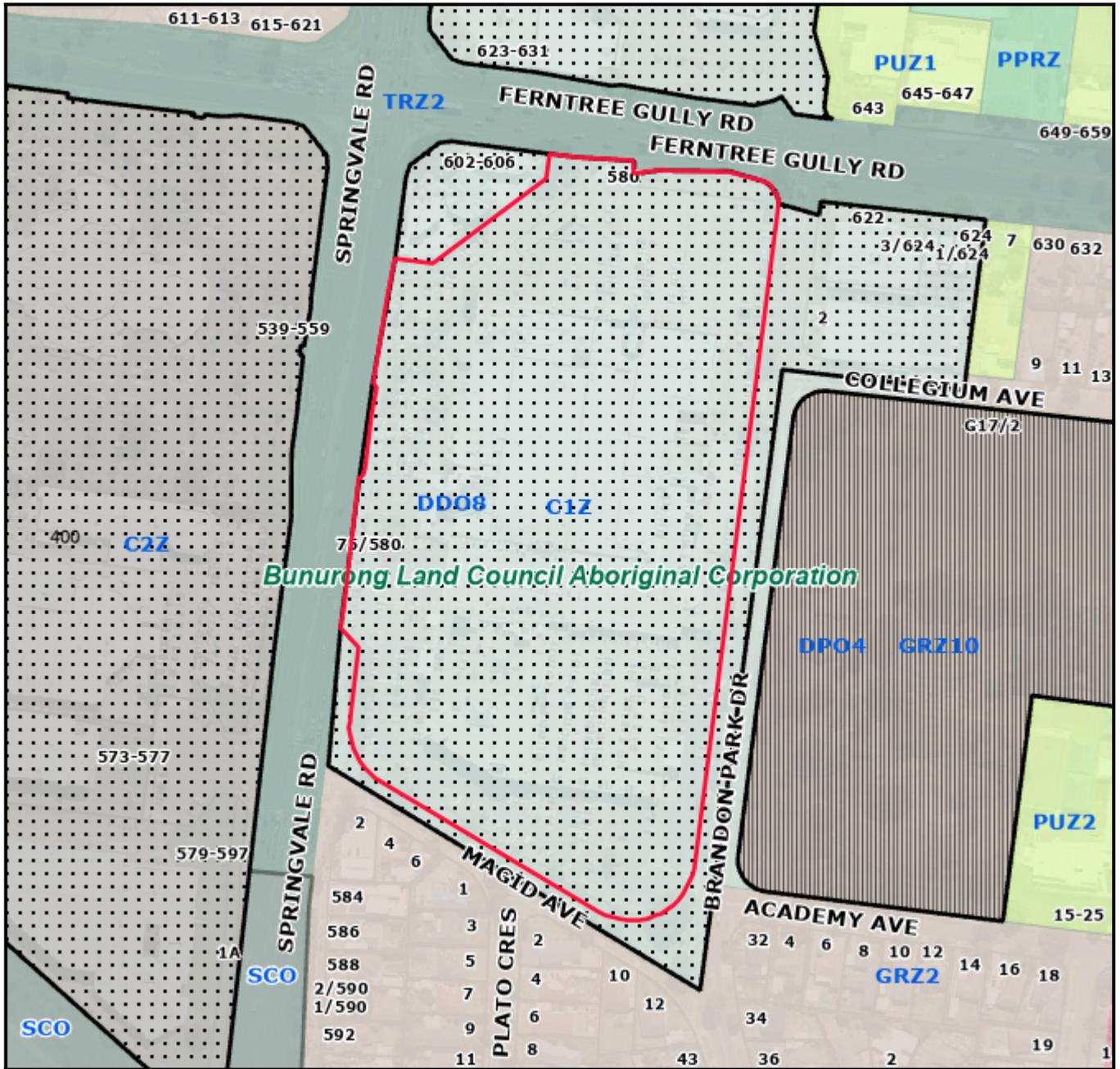
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Attachment 2: 580 Springvale Road, Wheelers Hill





Planning Overlays and Zones



Legend

Planning Zones

Planning Overlays



Address: 580 Springvale Road WHEELERS HILL VIC 3150

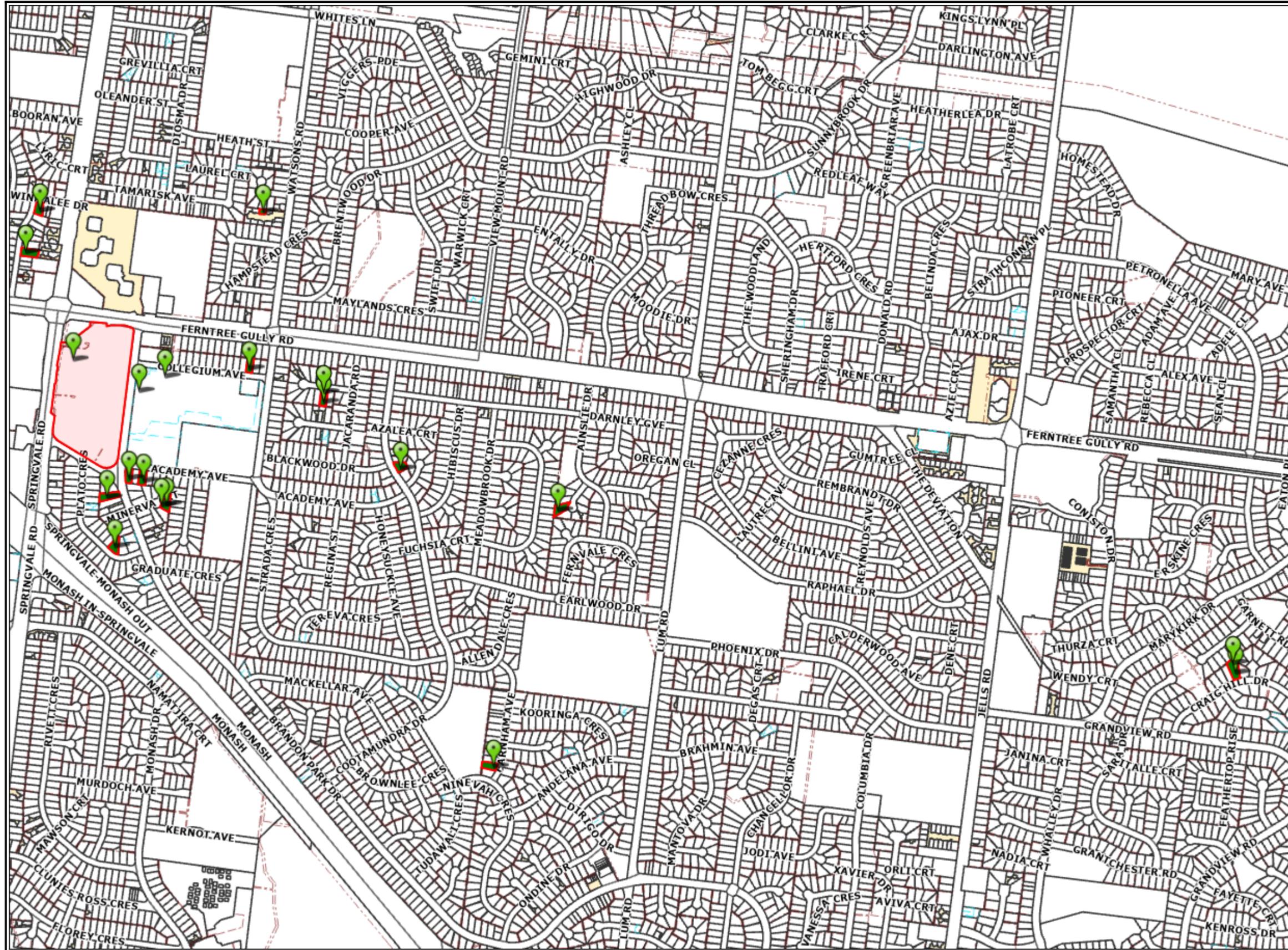
Area: 58100.00000 sqm

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Objector Map

Subject land shaded light red.
 Objector properties shaded dark green and pinpointed.
 (Not all objector properties shown) as some objectors are located outside boundary map



Legend

- Property
- Proposed Property
- Common Property
- Easements
- Railines
- Reserves
- Open Space Public Access**
- Accessway/ trail
- Conservation
- Memorial Park
- Play
- Relaxation/ contemplation
- Social/ family recreation
- Sport
- Utility/ buffer/ enviro constraint
- Visual amenity
- Water based recreation

1:10000



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