

**1.4 10 BLAIR ROAD, GLEN WAVERLEY
CONSTRUCTION OF FIVE STOREY APARTMENT BUILDING WITH BASEMENT
CARPARK
(TPA/53789)**

EXECUTIVE SUMMARY:

This application proposes the construction of a five storey apartment building with basement car parking. The subject land is located within the residential periphery of the Glen Waverley Major Activity Centre, in a location designated for residential growth.

The application was subject to public notification. Two (2) objections to the proposal have been received.

Key issues to be considered relate to building scale, height, design detail, overlooking and overshadowing of adjoining properties.

This report assesses the proposal against the provisions of the Monash Planning Scheme including the relevant state, regional and local planning policy framework and Clause 58, and issues raised by objectors.

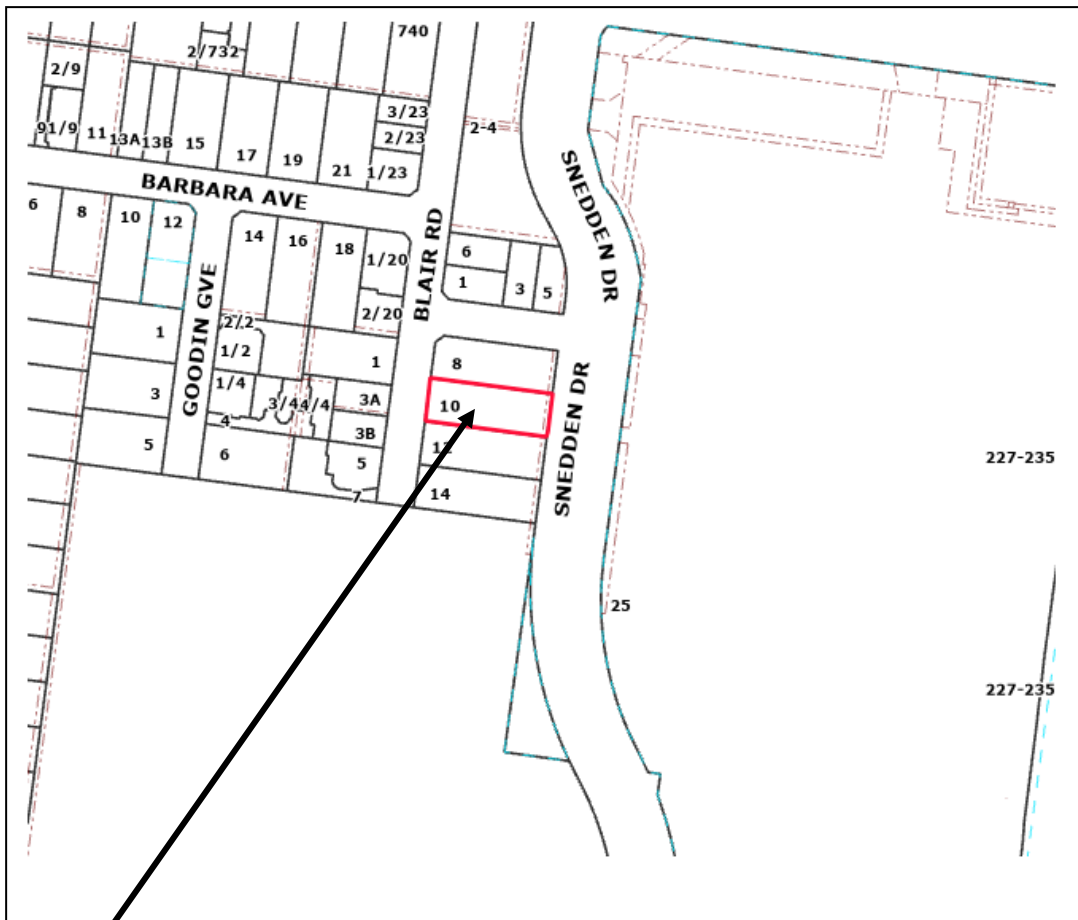
The reason for presenting this report to Council is the proposed development cost of \$4.5 million.

The proposal is considered inconsistent with the relevant provisions of the Monash Planning Scheme and it is recommended that the application be refused.

RESPONSIBLE DIRECTOR:	Peter Panagakos
RESPONSIBLE MANAGER:	Catherine Sherwin
RESPONSIBLE PLANNER:	Anne Maree Roberts
WARD:	Glen Waverley
PROPERTY ADDRESS:	10 Blair Road, Glen Waverley
EXISTING LAND USE:	Single storey dwelling
PRE-APPLICATION MEETING:	No
NUMBER OF OBJECTIONS:	Two (2)
ZONING:	Residential Growth Zone – Schedule 4
OVERLAY:	No Overlays
RELEVANT CLAUSES: <u>Planning Policy Framework</u> Clause 11.01-1R- Settlement – Metropolitan Melbourne	<u>Local Planning Policy Framework</u> Clause 21- Municipal Strategic Statement)

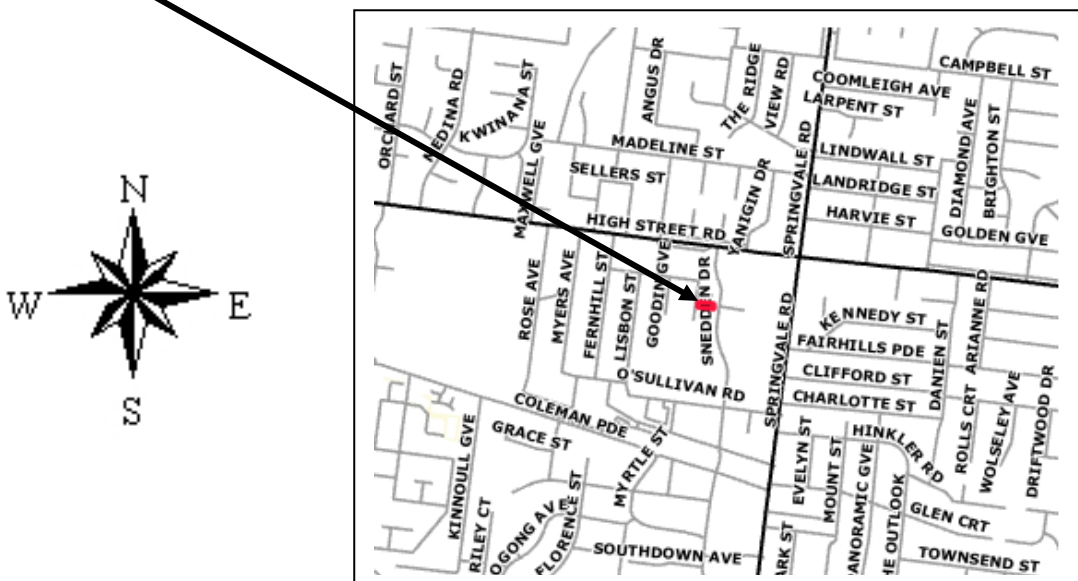
<p>Clause 11.02-1S- Supply of Urban Land</p> <p>Clause 11.03-1S&R – Activity Centres</p> <p>Clause 13.07-1S- Land Use Compatibility</p> <p>Clause 15.01-1S&R- Urban Design</p> <p>Clause 15.01-2S- Building Design</p> <p>Clause 15.01-4S & R- Healthy Neighbourhoods</p> <p>Clause 15.01-5S- Neighbourhood Character</p> <p>Clause 15.02-1S- Energy and Resource Efficiency</p> <p>Clause 16.01-1S &R- Housing supply</p> <p>Clause 16.01-2S- Housing affordability</p> <p>Clause 18.01-1S- Land Use and Transport Planning</p> <p>Clause 18.02-1S & R- Sustainable Personal Transport</p> <p>Clause 18.02-2R– Principal Public Transport Network</p> <p>Clause 18.02-4S- Car Parking</p> <p>Clause 19.03-3S- Integrated Water Management</p>	<p>Clause 21.04- Residential Development</p> <p>Clause 21.06 – Major Activity and Neighbourhood Centres</p> <p>Clause 21.08- Transport and Traffic</p> <p>Clause 21.13- Sustainability and Environment</p> <p>Clause 22.01- Residential Development and Character Policy</p> <p>Clause 22.04- Stormwater Management Policy</p> <p>Clause 22.13- Environmentally Sustainable Development Policy</p> <p>Clause 22.14 – Glen Waverley Major Activity Centre Structure Plan</p> <p><u>Particular Provisions</u></p> <p>Clause 52.06- Car Parking</p> <p>Clause 52.34- Bicycle Facilities</p> <p>Clause 53.18- Stormwater Management in Urban Development</p> <p>Clause 58 – Apartment Developments</p> <p>Clause 65 – Decision Guidelines</p>
STATUTORY PROCESSING DATE:	3 December 2022
DEVELOPMENT COST:	\$4.5 million

LOCALITY PLAN



SUBJECT SITE

NEIGHBOURHOOD PLAN



RECOMMENDATION:

That Council resolves to issue a **Notice of Decision to Refuse to Grant a Planning Permit (TPA/53789)** for the construction of five storey apartment building with basement carpark at 10 Blair Road, Glen Waverley subject to the following grounds:

1. The proposal is inconsistent with the objectives of Clause 21.04 Residential Development, Clause 22.01 Residential Development and Character Policy and Clause 58 of the Monash Planning Scheme regarding building height and scale, neighbourhood character, landscaping, private open space, front fencing and design detail.
2. The proposal fails to provide for sufficient landscaping opportunities to allow the building to sit in an open garden setting in accordance with the Residential Growth Zone, Schedule 4, Clause 21.04 and 22.01 provisions of the Monash Planning Scheme.
3. The proposal will result in unreasonable visual bulk and amenity impacts to adjoining properties to the north, east and south.
4. The proposed front fence does not comply with the requirements of the Residential Growth Zone, Schedule 4.
5. The front fence and provision of site services do not allow for an open front garden to soften the presentation to the streetscape.
6. The proposal will result in a poor level of internal amenity for future residents.
7. The proposal is not site responsive and an overdevelopment of the site.
8. The proposed basement layout does not provide for functional vehicle movement.

BACKGROUND:**The Site and Surrounds**

The subject land is located on the eastern side of Blair Road in Glen Waverley approximately 150 metres south of its intersection with High Street Road.

The land is rectangular in shape, with a frontage of 17.68 metres, a depth of 50 metres with an overall area of approximately 888 square metres. The land has a fall to the rear of the site of approximately 5.48 from south-west to north-east. A 1.83 metre wide drainage and sewerage easement runs along the eastern (rear) boundary of the land.

The site currently contains a detached single storey dwelling setback 9.5 metres from the street, ancillary outbuildings and vehicular crossover on northern

boundary. The rear fence of the property sits directly above a concrete retaining wall extending along the west side of Snedden Drive.

The site contains no significant vegetation.

As a result of its locational attributes, many standard size lots in the area have been developed with medium density housing developments of 2-3 dwellings.

The established built form of the surrounding area is diverse. Development is typically residential in nature and includes a mix of single and double storey detached dwellings along with several 3-4 storey apartment buildings on larger lots.

The site is located within close walking distance to 'The Glen Shopping Centre' and a range of schools and public transport options within the Glen Waverley Major Activity Centre. The Glen Shopping Centre is located across the rear (eastern) and the Glen Waverley Railway Station is approximately 850 metres to the south-east. Surrounding established residential areas located to the wider south-west are developed with single and double storey detached dwellings originally constructed in the 1950's and 1960's along with some newer replacement dwellings and multiunit townhouse development having occurred within the last 20 years.

The built form of the immediate surrounding area can be described as:

- North:** Land abutting to the north is developed with a single and double storey dwellings orientated to Chester Street constructed circa 1990's.
- South:** Single storey detached dwelling with crossover on the common boundary.
- East:** Snedden Drive beyond which is The Glen Shopping Centre.
- West:** Two double storey townhouses with 2 driveways constructed circa 2000.

Planning Permit TPA/52147 was issued on 19 April 2022 at the direction of VCAT allowing the construction of 3 triple storey dwellings at 12 Blair Road which abuts the southern boundary of the site. The approved development is yet to commence construction.

Planning Permit TPA/47480 was issued on 11 January 2019 allowing the construction of a four storey apartment building at 740 High Street Road (south-west corner of the intersection of Blair Road and High Street Road). The site has been cleared and a building permit recently issued.

A four storey apartment building at 2-4 Blair Road (south-east corner of the intersection of Blair Road and High Street Road). The approved development was constructed circa 2003.

An aerial photograph of the subject site and surrounding land can be found attached to this report (Attachment 2).

PROPOSAL:

The proposal is to demolish the existing dwelling and construct a five storey residential apartment building containing 7 residential apartments above a basement car park.

Details of the proposal can be summarised as:

- 7 apartments comprising of:
 - 4 x 3 bedroom apartments (141.3m²-166.9m² internal floor area).
 - 3 X 4 bedroom apartments (191.0m²- 283.8m² internal floor area). Note: Apartments 2 and 4 each contain a “multi-function room” with ensuite effectively making these rooms capable of being used as a 4th bedroom.
- Ground level courtyard spaces ranging in size from 11.5m²-69m².
- Balcony secluded private open space areas ranging in size from 16m²-55m².
- Large rooftop terrace provided to the penthouse apartment having an area of 92m² including sitting area, BBQ and pool.
- Front setback of 5 metres to Blair Road.
- Basement car park with a total of 14 car spaces.
- Basement access ramp adjacent to the southern boundary.
- Storage areas, waste room, services and bicycle parking within the basement.
- Lift to service all floors of the development including the basement.
- Materials palette comprising of coloured render and metal cladding in a variety of grey tones.
- 1.2m high fence along the front boundary and enclosing part of the front setback. Service structures (water meters, gas meter and fire booster facilities) incorporated within the fence.
- Maximum overall building height of 14.4 metres to the north-east (rear) corner of the development.

Setbacks of the building are as follows:

Level	North (8 Blair Road)	East (Snedden Drive)	South (12 Blair Road)	West (street frontage)
Basement	0.65m	3.85m	1.0m	7.7m
Lower ground floor	3.0m	3.85m	1.0m	7.7m
Ground floor	2.65m	3.85m	1.0m	5.0m
First floor	2.65m	6.85m	2.65m	4.6m
Second floor	4.45m	6.85m	4.5m	7.4m
Rooftop terrace	4.5m	17.3m	4.5m	10.4m



Attachment 1 details plans forming part of the application.

PERMIT TRIGGERS:

Zoning

The land is zoned Residential Growth - Schedule 4 (RGZ4) under the provisions of the Monash Planning Scheme. Pursuant to the provisions of Clause 32.07-5 a permit is required to construct two or more dwellings on a lot.

No permit is required for use of land for a dwelling within the Residential Growth Zone.

Pursuant to Clause 32.07-9 there is no mandatory building height within the zone or the schedule however this clause does provide that *"If no maximum building height is specified in a schedule to this zone, the building height should not exceed 13.5 metres."*

Overlay

The site is not affected by any overlays.

Particular & General Provisions

Clause 52.06: Car Parking:

Clause 52.06 requires 14 car spaces to be provided on the land for residents. As the site is located within the Principal Public Transport Network (PPTN) there is no requirement for visitor parking. The proposed development satisfies the statutory car parking requirement.

Clause 52.34: Bicycle Facilities

For a residential development of 7 dwellings the proposal is required to provide 3 bicycle spaces (2 for occupants plus 1 for visitors.) The requirements of Clause 52.34 have been satisfied as 4 spaces have been provided.

Clause 58: Apartment Developments

The development of an apartment building of five or more storeys is required to be assessed under Clause 58 of the Monash Planning Scheme.

Attachment 3 details the zoning and overlays applicable to the subject site and surrounding land.

CONSULTATION:

Further information was requested of the Permit Applicant on 13 May 2022. In this letter, officers also raised the following preliminary concerns:

- The proposed building height exceeding the maximum preferred building height of 13.5 metres.
- The height, mass and scale of the proposed development is excessive.
- The proposed building footprint (including the basement) is excessive with minimal side setbacks with limited opportunity for meaningful landscaping.
- The sunken nature of the lower level significantly impacts the amenity for future occupants and will not be supported.
- The presentation to the street at ground floor is dominated by hard surfaces and minimal landscaping.
- The provision of secluded private open space within the street setback is inappropriate.
- The proposal will create a significant built form to the western side of Snedden Drive. The slope of the land will exacerbate this issue.

Officers advised the Applicant in writing that should these concerns not be addressed, that this application was unlikely to be supported and that the application would be refused.

The Permit Applicant responded to this letter on 19 September 2022 by providing the requested information. In relation to the preliminary concerns, the Applicant advised that they had amended the plans to address some of the concerns raised, but that they do not agree with all of the preliminary concerns.

A number of changes were made to the application to address the concerns raised in Council's further information letter. The changes can be summarised as:

- Increased setback provided to the basement.
- Additional tree planting provided along the northern boundary.
- Modified development interface to the street.
- Modification to the internal layout and apartment mix.
- Modification to side and rear setbacks.
- Reduction in the extent of rooftop terrace.

The Applicant has been formally advised that this application is coming to the January Council meeting and a letter has been sent advising them of the details of the Council meeting.

The Applicant has been verbally advised that this application is recommended for refusal, and an outline of the grounds have been explained.

Public Notice

The application was advertised in accordance with section 52 of the *Planning and Environment Act 1987* by way of 32 notices sent to the surrounding property owners/occupiers, and 2 signs displayed on the Blair Road and Snedden Drive street frontages.

Two (2) objections were received. Issues of objection included the following concerns:

- Increased density.
- Increased road congestion.
- Neighbourhood character.
- Overdevelopment.
- Design detail.

Attachment 4 details the location of objector properties.

Referrals

External Referral

No external referral authorities are applicable to this application.

Internal Referral

Traffic Engineer

A separated study or studio is counted as a bedroom. At least 2 onsite parking spaces are to be provided for dwellings with three or more bedrooms.

The proposed basement carpark layout cannot allow vehicles to enter or leave the carpark in a forward direction without corrective movements. Without corrective movements, vehicles cannot make a U-turn from the ramp to drive into the

western end spaces in a forward direction. Same issue when egressing these spaces. Vehicle manoeuvrability within the basement is poor.

Private waste collection vehicles will need to demonstrate appropriate manoeuvrability within the basement carpark.

The proposed bicycle parking area is not at an ideal location. Turning vehicles have a high risk of hitting parked bikes.

The predicted traffic generation is low and is expected to have a negligible impact on the local area.

Drainage Engineer

No concerns subject to standard conditions including submission of a drainage plan for approval. Due to the easement along the rear boundary conditions include keeping tree planting clear of the easement.

Waste Services

The waste room is of sufficient size to accommodate the waste requirements, however the layout of basement will require waste trucks to reverse down the ramp as the truck will not be able to turn around within the basement.

DISCUSSION:

Consistency with State, Regional and Local Planning Policies

Planning Policy Framework (PPF)

The Planning Policy Framework seeks (among other things) to provide for sufficient supply of housing (Clause 11.02-1S), in established areas which are located to services and public transport (Clause 16.01-1S).

Clause 11.03-1R (Activity Centres – Metropolitan Melbourne) reiterates the objectives of Plan Melbourne and seeks to support the development and growth of Metropolitan Activity Centres by ensuring they:

- *Are able to accommodate significant growth for a broad range of land uses.*
- *Are supported with appropriate infrastructure.*
- *Are hubs for public transport services.*
- *Offer good connectivity for a regional catchment.*
- *Provide high levels of amenity.*

Housing policy at Clause 16 seeks:

“Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.

Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.”

“Plan Melbourne: Metropolitan Planning Strategy 2017-2050” is the Metropolitan Strategy that planning authorities must consider when assessing applications for planning permits. The key directions that are of particular relevance to the proposal are:

“Understand and plan for expected housing needs.”

“Reduce the cost of living by increasing housing supply near services and public transport.”

“Facilitate the supply of affordable housing.”

The strategy identifies Glen Waverley as the most significant Major Activity Centre within the City of Monash. The area is recognised as having an extensive range of goods and services, easy access to good quality public transport and transport routes and is recognised as a major social focus for the municipality and the middle south eastern region. Initiatives seek to locate a substantial proportion of new housing in or close locations that offer good access to services and transport and employment areas.

Increased residential density and dwelling diversity is sought by state, regional and local policies. The proposed development is considered consistent with the planning policy framework in respect of increased density and housing diversity objectives, however the detail of the proposal and scale of the proposed development is excessive and is not considered appropriate.

The proposal raises concerns regarding building height, built form and scale, private open space, landscaping provision, internal amenity for future occupants and amenity impacts to adjoining properties. These issues will be further discussed below.

The proposed development is considered to be inconsistent with policy requirements relating to built form and site context which is well designed, of high architectural quality and provides for high levels of internal amenity.

Local Planning Policy Framework

In the Municipal Strategic Statement at Clause 21, the Garden City Character of the municipality is identified as a core value held by the community and Council as a significant and important consideration in all land use and development decisions.

Clause 21.04 (Residential Development Policy) provides Council's goal for residential development in the City to be balanced in providing a variety of housing styles whilst remaining sympathetic to existing neighbourhood character. The Policy identifies

the site as within Category 1 – Activity Centre with development potential to include more intensive and higher scale.

Clause 21.06 (Major Activity and Neighbourhood Centres) identifies the Glen Waverley Activity Centre as a Major Centre in Monash. Apartments are included within the ‘primary focus’ of the centre, and strategic directions include allowing for medium rise residential development within the centre.

Clause 22.01 (Residential Development and Character Policy) applies to all residential land and seeks to ensure that new development is successfully integrated into existing residential environments, with minimal streetscape or amenity impact, and designed to achieve outcomes that enhance the Garden City Character of the area. The site is included in a small pocket nominated as Monash Residual Residential Areas, which mainly applies to several streets immediately around the Glen Waverley Activity Centre. This is a location where housing growth and diversification is supported, however development must be appropriate to context and still achieve objectives with respect of landscaping, built form graduation and demonstrate high quality built form outcomes.

Clause 22.05 (Tree Conservation Policy) is to maintain, enhance and extend the Garden City Character throughout Monash by ensuring that new development and redevelopment is consistent with and contributes to the Garden City Character as set out in the Municipal Strategic Statement. Aerial photographs indicate that the site was previously heavily vegetated and that numerous trees with large canopies have been removed over the past two years. Potential landscape outcomes for the site are compromised by the excessive building footprint and limited ability for planting of trees which will grow to a substantial size and spread.

Clause 22.13 (Environmentally Sustainable Development Policy) provides a framework for early consideration of environmental sustainability at the building design stage. A Sustainability Management Plan was prepared by Frater Consulting Services indicating that the proposal achieves best practice. The report recommends various ESD initiatives to be clearly annotated on plans should a permit be granted.

Clause 22.14 applies to the Glen Waverley Activity Centre (Glen Waverley Major Activity Centre Structure Plan) (GWACSP). The Glen Waverley Major Activity Centre is acknowledged as being regionally significant. The vision is for it to be different from its surrounding residential and light industrial uses. The GWSP provides policy guidance for new development within the commercial centre and surrounding residential areas. Higher built form is envisaged, however as with any proposal, the development should make a positive contribution to the public realm and liveability of places through well considered and high quality designs that respond to their physical context. The proposal does not adequately achieve these aspirations and seeks to maximise yield from the site at the expense of appropriate built form and landscaping outcomes.

Relevant strategies and policies seek:

- *“High quality and diverse housing options will be available for a greater number of residents with a range of housing needs” (Clause 22.14-1).*

Clause 22.14-3 applicable Policy:

- *“To encourage the development of a range of housing types within the GWAC to cater to all ages and circumstances, and meet expected population growth;*
- *To promote excellence in architectural quality and design across the major activity centre, defining a contemporary and exciting identity for Glen Waverley;*
- *Ensure that developments contribute to the ‘buildings-in-landscape’ character of the existing residential areas surrounding the GWAC commercial centre;*
- *Ensure new development creates human scaled places that promote visual and pedestrian amenity to enable informal interaction including between neighbours.*
- *Ensure that all development with sensitive interfaces to residential areas and open space is designed to respect valuable qualities of those adjacent places*
- *Avoid large high massing buildings that dominate streetscapes and open spaces.*
- *Design buildings to address the future amenity of the occupants, visitors and those using public streets by maximising accessibility, passive surveillance and internal amenity.*
- *Landscape front setbacks adjacent to the future ring road to contribute to visual and pedestrian amenity, and the environmental sustainability of buildings.*
- *Design developments, including residential developments, to maximise safety, comfort and accessibility for people with all levels of mobility to better provide for changing circumstances, aging in place, and to limit restrictions for visitors.”*

The subject land is located within Precinct 7 (Surrounding Residential Precinct) of the Activity Centre which envisages:

“The surrounding residential precinct provides a key role in supporting the growth of the centre by delivering a diverse range of housing that is located in close proximity to shops and services, public transport and open space. A number of streets will be enhanced as key walking and cycling routes connecting into the town centre”.

It is policy to:

“Encourage the intensification of housing in identified areas on High Street Road, Snedden Drive, Coleman Parade, Myrtle Street, Bogong Avenue and Springvale Road.”

Relevant built form opportunities applicable to the subject land encourage:

- *“Opportunity for heights of 3-4 storeys;*
- *Ground level setback of at least 5m and side and rear setbacks in accordance with ResCode.”*

The proposed development does not comply with these built form objectives.

The Structure Plan is identified as a reference document in this policy.

Whilst the proposed development would achieve increased density and housing diversity objectives, the proposed building scale is inappropriate given the small size of the land, sloping topography of the land and surrounding interfaces. Further, the design response is excessively visually dominant in its presentation and fails to provide for appropriate breaks in building massing, suitable height graduation, façade articulation and building breaks that would allow for meaningful landscaping outcomes to the side area of the development.

Glen Waverley Activity Centre Structure Plan

The GWASP recognises the subject land as an appropriate location for increased residential density, residential intensification, high quality development, housing renewal opportunity and increased housing diversity. Strategies seek to cater to the needs of a changing population by providing additional housing choices and alternative housing forms such as apartments located within walking distance of the activity centre. Architectural quality and integration with surrounding established residential precincts is critical in determining the appropriateness of development.

The subject land is located within Built Form Area K of the GWASP. Built form guidance for this area provides for:

- Opportunity for 3-4 storey building height.
- Front setbacks of at least 5m and side and rear setbacks in accordance with ResCode

The maximum 5 storey scale of the development does not meet with the preferred height guidance for development along High Street Road. As indicated above the proposed scale of the development is excessive given the size of the land and surrounding interfaces. Similarly, the design response does not demonstrate exceptional architectural quality which might warrant varying from built form guidance for the precinct.

Residential Growth Zone – Schedule 4

The relevant design objective of RGZ4 seeks:

“To provide for diverse housing development with appropriate setbacks to allow for landscaping and canopy trees.”

The Schedule 4 to the Residential Growth Zone (RGZ4) nominates the following variations to Clause 55 applicable to the site:

- *Minimum front street setback – 5 metres.*
- *Landscaping - Retention or provision of at least three canopy trees (two located within the front setback) with a minimum mature height equal to the height of the roof of the proposed building or 10 metres, whichever is greater.*
- *Front fence height – no front fence.*

One of the matters to be considered under the Schedule is:

- *Whether the development enables the consolidation and development of sites in a progressive manner that does not result in the creation of small, isolated holdings of land of limited development potential.*
- *Whether the building retains human scale and, by the inclusion of significant breaks and recesses in building massing, is designed to avoid large block like structures dominating the streetscape.*
- *Whether the development minimises the impact to neighbouring properties, through suitable setbacks from adjacent secluded private open space to enable the provision of screening trees, and scaling down of building form to the adjoining properties in the General Residential Zone.*

Whilst the proposal provides for increased housing diversity in the form of apartment development, the design response fails to provide for appropriate building setbacks to achieve a buildings in landscape built form outcome. Further, the extent of built form fails to mitigate resulting in a visually obtrusive built form outcomes which fails to have adequate regard for the natural fall of the land and surrounding sensitive interfaces.

Built Form

Building Height and Scale

The proposed building has a maximum building height of 14.4 metres and exceeds the preferred height of the zone of 13.5 metres. Although the zone allows the opportunity for an increase in building form, it would be expected that such developments are site responsive and sit comfortably on the site without impacting the streetscape. This must also be balanced with achieving high quality developments within a landscaped and open garden setting as required under the design objectives in the Schedule 4 to the Residential Growth Zone.

The five storey wedding cake form of the proposed development presents a lack of horizontal articulation which is devoid of meaningful building breaks resulting in a visually overwhelming built form outcome at odds with policy. The policy objectives seek to encourage development which retains human scale by the inclusion of significant breaks, recesses in building massing and avoiding large block like structures dominating the streetscape.

The scale of the design does not take into account the relatively small size and narrow width of the land, significant fall across the site and sensitive surrounding interfaces which are yet to be redeveloped. A development of this scale would be better suited to a major road where more robust development is more common or on a consolidated site where greater landscaping setbacks and height graduation can be provided.

Of further concern is that the design does not attempt to reduce the height and impact, or respond appropriately to the site. This is demonstrated by the subterranean dwellings at the front of the site with severely compromised internal amenity and substantially elevated basement to the rear of the land being raised 1.8m above natural ground level resulting in a poor relationship between dwelling and ground level secluded private open space. The setbacks and lack of variation in façade detailing result in an overwhelming massing impact to surrounding properties. The extent of screening required to habitable room windows is excessive and results in very poor internal amenity to a significant proportion of dwellings.

Front Setback

Although local policy suggests that the site is earmarked for higher densities, the future character statement at Clause 22.01 identifies that front setbacks should continue to be well landscaped to ensure that 'garden character' of the area is maintained. Walls and fencing within the front setbacks are encouraged to be low or non-existent, allowing views to planting within these spaces.

Whilst the proposed front setback meets the numerical measure in the schedule, the proposal fails to provide a comprehensive streetscape presentation with respect to fencing, services and provision of landscaping. The area for landscaping within the front setback, will be significantly impacted by the solid high front fencing ranging in height from 1.2 metres to 1.7 meters, services and hard paving. The provision of secluded private open space for Apartment 3 within the front setback is inconsistent with private open space requirements for the zone and neighbourhood character objectives which seek development to be constructed in an open garden setting.

Detailed Design

The façade treatment is plain in presentation and lacks adequate visual interest for residential use and articulation. The façade detailing is dominated by flat rendered walls finished with a singular material/colour with minimal façade articulation further exacerbating massing impacts of the development.

Basement dwelling (Apartment 1)

Apartment 1 of the development located to the front of the site will sit approximately 2.0m below natural ground level resulting in very limited outlook from the dwelling, poor internal amenity and limited opportunity for tree planting along the northern boundary which would be capable of growing above the fence line and assist in softening the massing impact of the development.

Open space provision

Ground level courtyard spaces range in size from 11.5m²-69m². Whilst this appears to be generous, much of the space is relatively narrow in width (3.0m or less), elevated narrow decking or located below natural ground level and overwhelmed by adjoining fencing and retaining walls. Deep soil planting areas are provided within easements containing assets which would not be suitable for canopy tree planting. The secluded private open space for Apartment 1 is located below natural ground level resulting in retaining wall and screening measures along the boundary having a height of up to 4.3m. The secluded private open space of Apartment 3 is located within the street setback which will provide a poor level of amenity to residents with limited privacy and compromised landscaping outcomes.

External Amenity Impacts

Visual Bulk

The proposal will result in unreasonable bulk impacts to the adjoining properties. The setbacks and lack of variation along all elevations are inadequate to existing residential interfaces.

Standard D14 of Clause 58 does not prescribe setbacks from side or rear boundaries, but requires the *“built form of the development must respect the existing or preferred urban context and respond to the features of the site.”* However, under Clause 58.04-1 assessment of setbacks is to be undertaken with the requirements of the Schedule to the Zone which includes variations to B17 of Rescode.

The side elevations of the building results in a large span of building with limited articulation due to the lack of variation and setbacks or thoughtful planning of materials and fenestration along these boundaries to reduce the massing. The design of the building provides for only one small break at all levels up to the fourth floor on both side elevations.

Overshadowing

Overall, the overshadowing of the development to adjoining properties is considered acceptable, but with a more responsive design the overshadowing impacts could be reduced.

Overlooking

Standard D14 (building setbacks) in Clause 58 requires that *“buildings should be set back from side and rear boundaries, and other buildings within the site to....avoid direct views into habitable room windows and private open space of new and existing dwellings. Developments should avoid relying on screening to reduce views.”*

Although the application is not subject to the overlooking requirements of Standard B22 of Clause 55.04-6 (Rescode), the design has applied the same criteria in addressing overlooking into adjoining properties. Standard B22 requires that habitable room windows and balcony spaces should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony from a height of 1.7 metres above floor level.

The proposed development has addressed overlooking through the provision fixed obscure glazing to habitable room windows. As a consequence, a substantial proportion of upper level habitable room windows are required to be screened resulting in poor internal amenity to occupants and obtrusive façade presentation to overlooking the adjoining properties. The northern façade proposes 27 of 49 windows to be screened with a number of additional windows required to be screened to address overlooking concerns. Similarly an excessive number of windows are required to be screened on the southern façade. The extent of screening is excessive and a further indication that the proposed building is not site responsive and an overdevelopment of the land.

Internal Amenity

The layout of the development demonstrates that the design has achieved compliance with the majority of the minimum standards of Clause 58 as outlined below:

- Standard B16 (Noise Impacts) - An Acoustic Report was not provided with the application. The rear (east) of the development is orientated to Snedden Drive, loading areas and mechanical plant associated with The Glen Shopping Centre. Noise attenuation measures should be provided to east facing windows in the event a permit is granted.
- Standard D17 (Wind impacts) - It is envisaged that the proposed development will not generate any detrimental wind impacts. Given the fall of the land only a small portion of the building is over four storeys. Side and rear setbacks to break up air flows which might otherwise create adverse wind impacts.
- Standard D18 (Accessibility) - The proposed dwellings have been designed to cater for people with limited mobility. All dwellings have been provided with a clear opening width of 850mm to the entrance of the dwelling. All dwellings (except for Apartment 7) have a clear path width of minimum 1.2 metres. Five dwellings have at least one adaptable bathroom. All dwellings are accessible via the flat pedestrian access way, leading from Blair Road to the internal lobby and lift that is also accessible from the basement carpark.
- Standard D19 (Building entry and circulation) – the sense of address to the development is not particularly well defined. The building entrance is dominated by high front fencing, services enclosures and an enclosed secluded open space area associated with apartment 3. Access to the lift

lobby and dwelling entrances is convoluted requiring a lengthy walk down an indirect corridor without any passive surveillance.

- Standard 21 (Storage) - Over bonnet storage is proposed in the basement. This approach, whilst suitable for single bedroom dwellings, is generally not supported as it is not a practical storage area for larger apartments.
- Standard 22 (Common Property) - Common property areas will be able to be managed by the relevant owner's corporation as required.
- Standard 23 (Site Services) - Although the design has been made for site services, the placement and location results in numerous intrusions in the front setback and resultant hard surfacing as discussed and is not a satisfactory outcome.
- Standard 24 (Waste and Recycling) - A Waste Management Plan has been provided indicating private collection of waste utilising a small waste collection vehicle. If a permit were to be granted, permit conditions would require approval and endorsement of a waste management plan.
- Standard 28 (Windows) - Adequate solar access to habitable room windows is provided.
- Standard D25 – (External walls and materials objective) - The external walls will be finished with light coloured render. This material will weather well over time and is resilient to wear and tear. Whilst being low maintenance, the external finishes of the building lack appropriate architectural finesse for a development of this scale.
- Standard D26 (Functional layout) – proposed apartments are generally well proportioned. However, the “study” (additional bedroom) of Apartment 1 does not provide for the required minimum 3.0m internal dimension.
- Standard D27 (Room depth) – Adequate daylight is provided to a majority of habitable rooms. Apartment 1 has a single aspect into the living area. The layout of the open plan living and dining area has the kitchen furthest from the window and a room depth of approximately 9.3m. The apartment also has a second highlight window on the southern side over the accessway. Given the sunken aspect of this dwelling, solar amenity to the dwelling is considered poor.
- Standard 29 (Natural Ventilation) - All dwellings except Apartment 1 and 3 include windows on at least 3 elevations and are less than 11m wide providing for cross ventilation. The development complies with cross ventilation requirements.

Landscaping

Landscaping proposed with the development is considered unsatisfactory. Due to the size of the basement and building footprint, the landscaping opportunities along the front, side and rear boundaries are poor and limited. The extent of site cut, building footprint and minimal building setbacks proposed fails to provide adequate opportunity for meaningful landscaping outcomes including canopy tree provision to soften a development of this scale.

A key outcome with apartment developments is that proposals provide a landscape layout that maximise deep soil areas for planting of canopy trees. In this case a total of 5% of the site area (44.35m²) of deep root planting. The deep soil planting areas are compromised by being provided within drainage easements containing assets where canopy tree provision is likely to be problematic. The proposed landscaping scheme fails to provide for adequate landscaping outcomes as envisaged by the zone which seek to encourage appropriate setbacks to allow for landscaping and canopy trees and a “buildings-in-landscape” built form outcome.

Further concerns with the limited areas for planting and overall inadequate landscaping response include:

- The nominated trees have an effective canopy height of between 4-7m and would not satisfy the criteria of the Schedule that requires a mature height of least equal to the maximum building height of the new development.
- The setbacks of the building at ground floor from all boundaries are insufficient to provide complementary shrubs and ground covers resulting in a poor outlook to open space areas for future occupants and insufficient to assist with reducing the visual impact when viewed from adjoining properties.
- The planting of trees within the rear easement is not supported by Council’s Drainage Engineers.
- The setback for the remainder of the northern boundary is reduced to approximately 650mm with patio spaces and basement encroaching into side setbacks.

Overall, the landscaping treatment does not satisfy the objectives of Standard D10 of Clause 58, the garden city character objectives in local policy outlined in Clauses 22.01 and 22.05 and also the Schedule to the zone that strives “*To ensure developments are constructed within an open garden setting through the retention and planting of vegetation, including canopy trees.*”

Car Parking, Traffic and Access

The proposal provides in excess of the requisite number of car parking spaces pursuant to Clause 52.06 as detailed in the following table:

	No. of dwellings	Clause 52.06 requirement	Car spaces required	Car spaces provided
Three (or more) bedroom dwellings	7	2 spaces per dwelling	14	14
Visitor parking	7	No requirement given the land is located with the PPTN	0	0
Total required			14	
Total provided				14

The development provides for sufficient on-site car parking, however the vehicular manoeuvrability is not satisfactory.

Vehicular access to/from the site is proposed to be via a new crossover located in the south-west corner of the subject site.

Council's Traffic Engineers have indicated that vehicle manoeuvrability within the basement is awkward and not functional. The accessway width is particularly narrow opposite the lift lobby and stairwell which will constrain access to these car spaces.

Response to issues raised by objectors

Increased density

Whilst the aspirations of the Residential Growth Zone 4 and GWASP seek increased density and housing diversity, the built form outcome proposed fails to provide for suitable building massing, architectural quality, internal amenity and landscaping outcomes.

Increased road congestion

Traffic impact associated with the proposed development is within the road capacity of the surrounding road network. It is noteworthy that the proposed basement layout is awkward and does not provide for functional vehicle manoeuvrability.

Neighbourhood character

The built form outcome has poor regard for the surrounding context and applicable design guidelines sought by the GWASP.

Overdevelopment

The scale of the proposed development including the overall size of the building, minimal building setbacks and lack of meaningful landscaping breaks is considered to be an overdevelopment of the site.

Design detail

The bland architectural styling, limited facade detailing and poor facade articulation demonstrates poor regard for design detail.

CONCLUSION:

The development of the land for a multi-storey residential building is consistent with relevant urban consolidation and increased density objectives as envisaged by relevant provisions of the State, Regional and Local Planning Policy Framework. However, there is significant concern that the proposed development does not respond to its sensitive residential interface and is not site responsive.

The proposal provides limited opportunities for landscaping due to the large building envelope along all boundaries and the extensive size of the basement and raises concerns with relevant objectives including, height, built form and scale, private open space, landscaping provision, internal amenity for future occupants and amenity impacts to adjoining properties.

The proposal as submitted is considered an overdevelopment and recommended for refusal.

LIST OF ATTACHMENTS:

Attachment 1 – Proposed Development Plans.

Attachment 2 – Aerial Photograph (February 2022).

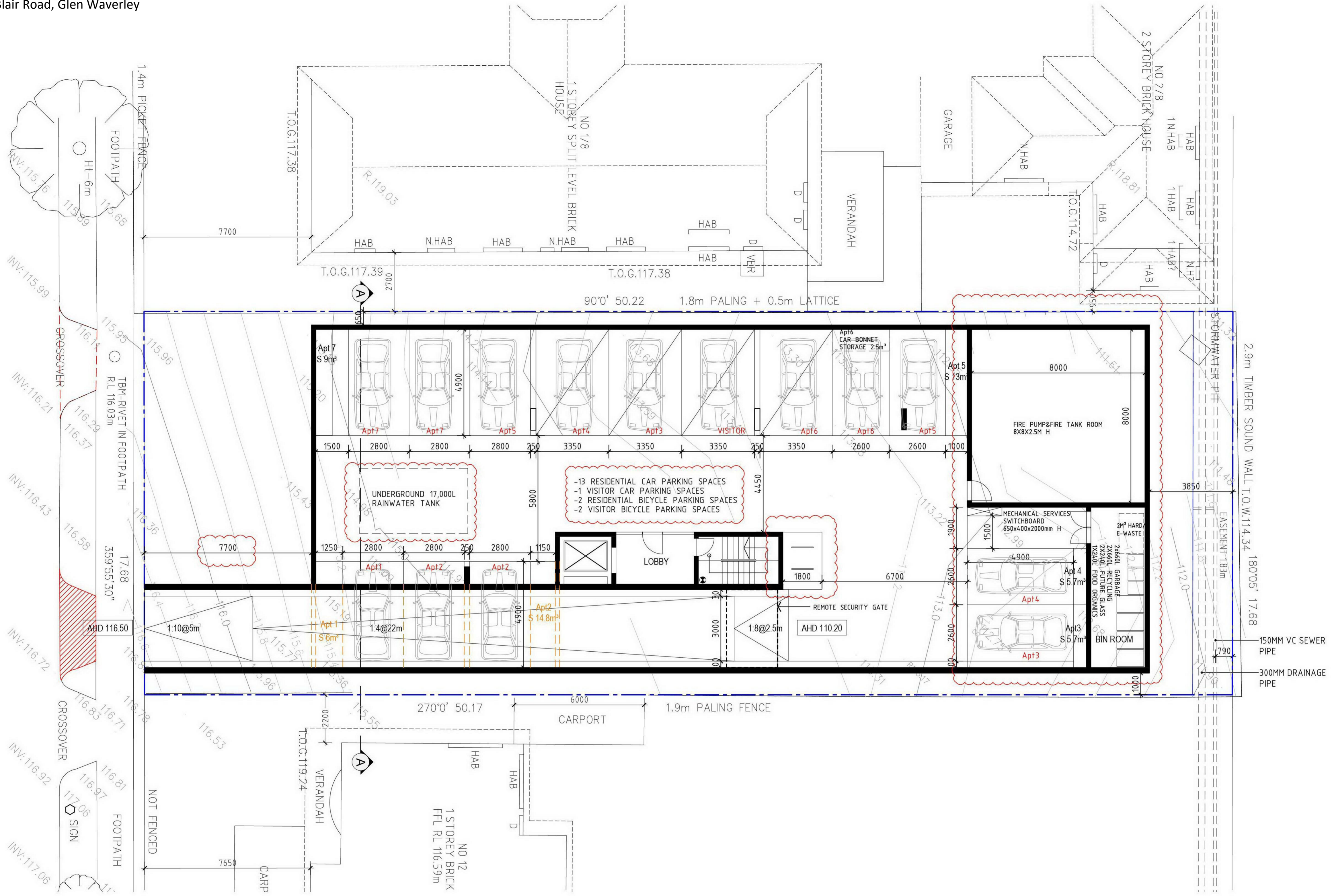
Attachment 3 – Zoning and Overlays Map.

Attachment 4 – Objector Properties Location Map.

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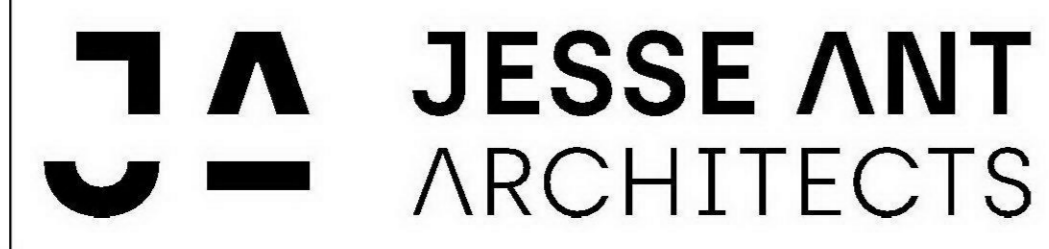
BLAIR ROAD

SNEDDEN DRIVE



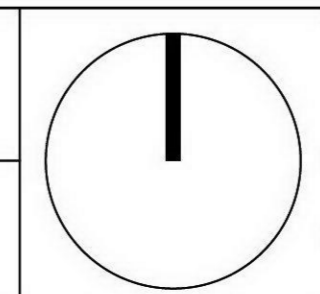
BASEMENT FLOOR PLAN
 SCALE 1:100 @ A1

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 BASEMENT PLAN

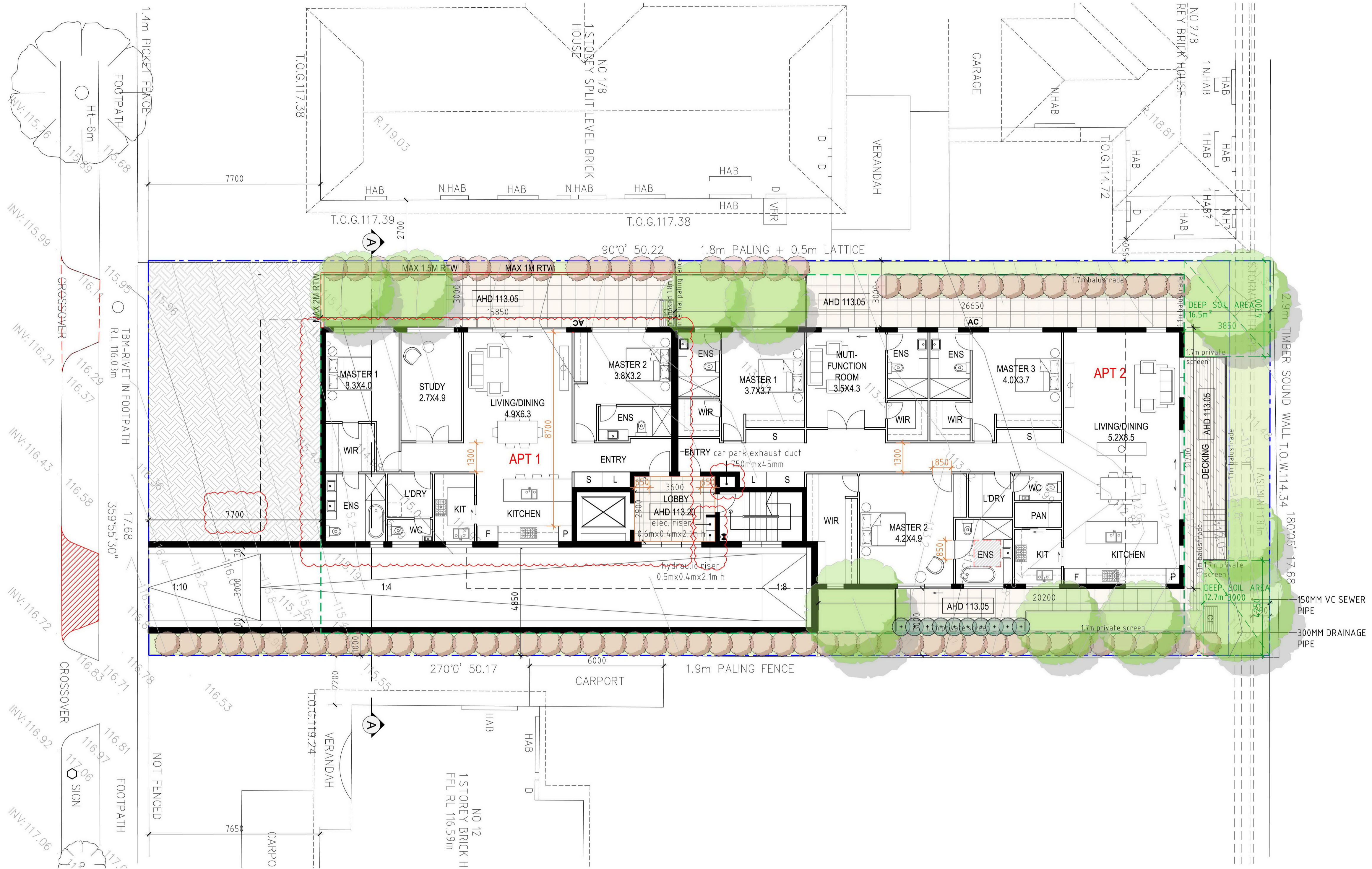


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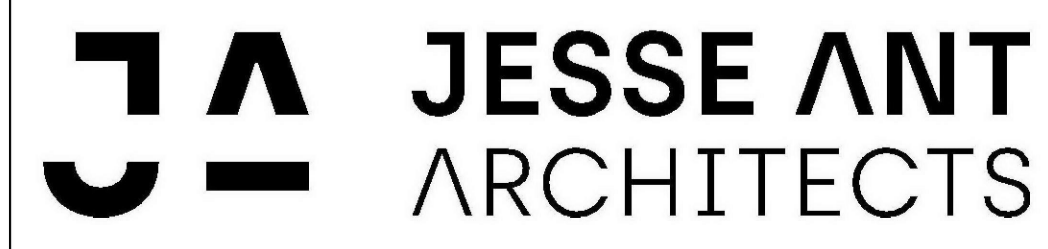
BLAIR ROAD

SNEDDEN DRIVE



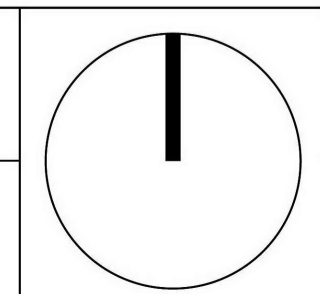
LOWER GROUND FLOOR PLAN
SCALE 1:100 @ A1

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LOWER GROUND FLOOR PLAN



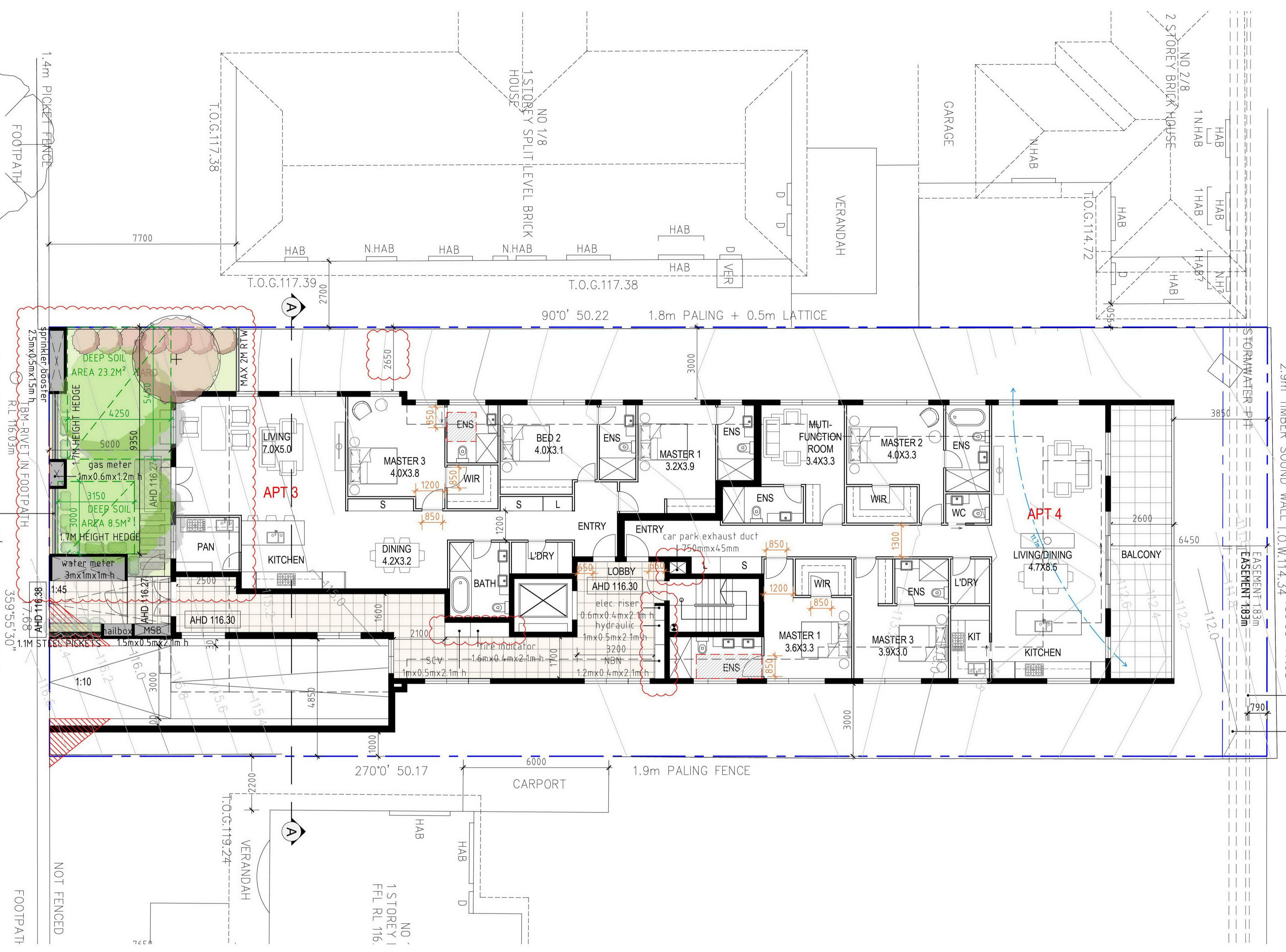
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Date	11-08-2022	Scale	1:100
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Amendment			

Amendment

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BLAIR ROAD

SNEDDEN DRIVE



ESD NOTES:

- PARTS OF THE ROOF AREA RUNOFF OF 426M² WHICH WILL BE DIVERTED INTO RAINWATER TANK.
- RAINWATER TANK CONNECTION TO THE TOILETS AND LAUNDRY FOR ALL APARTMENTS.
- FILTERING SYSTEM TO BE INSTALLED FOR THE TANKS DUE TO CATCHMENTS FROM TRAFFICABLE AREAS
- WELS RATING
- TOILETS-4 STAR
- TAPS-5 STAR
- SHOWERHEAD-4 STAR
- LIGHTING SENSORS OFR EXTERNAL LIGHTING
- COMMITMENT TO 4W/M² LIGHTING DENSITY IN THE APARTMENTS
- CO SENSORS FOR CAR PARK VENTILATION
- LIGHT COLOUR ROOF
- GLAZING IN APARTMENTS TO HAVE MINIMUM VLT OF 70%

Area Schedule:

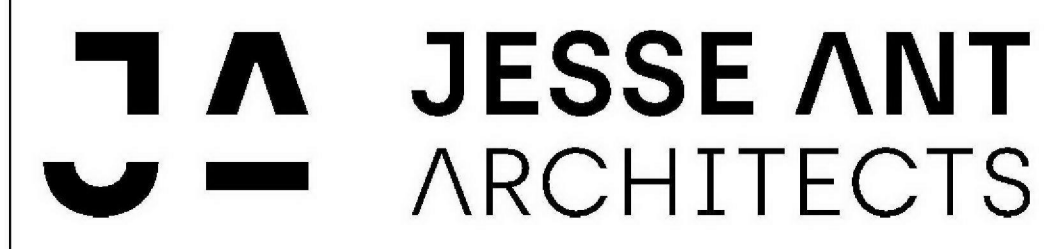
Site Area:	887.5m ²
Site Coverage:	489.7m ² (55.2%)
Permeable Area:	198.1m ² (22.3%)
Deep Soil Area (>3m):	60.9m ² (6.9%)

	Floor Area (exclude balcony)
Basement	620.3m ²
Lower Ground Floor	410.7m ²
Upper Ground Floor	439.1m ²
First Floor	335.2m ²
Second Floor	265.1m ²
Third Floor	18.7m ²
Roof Deck	92.9m ²

	Building Area	Total Balcony Area /Min Depth Area	Total Storage Volume /Internal Storage Volume	NO. of Bed	NO. of Bath	NO. of Car Space
Apt1	142.5m ²	47.5m ² (SPOS>3m)		2	2.5	1
Apt2	238.3m ²	185.5m ² (SPOS>3m)		3	4.5	2
Apt3	166.9m ²	50.7m ² (SPOS>3m)		3	4	2
Apt4	191.0m ²	30.6m ²		3	4.5	2
Apt5	161.1m ²	30.4m ²		3	3.5	2
Apt6	141.3m ²	16.0m ²		3	3	2
Apt7	283.8m ²	49.0m ² /34.2m ² (roof terrace:92.9m ²)		4	4	2

UPPER GROUND FLOOR PLAN
 SCALE 1:100 @ A1

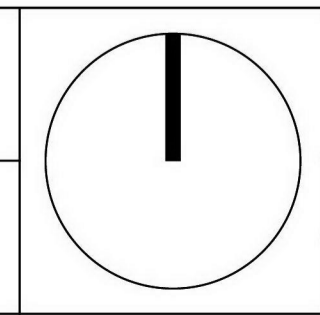
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Drawing
 UPPER GROUND FLOOR PLAN

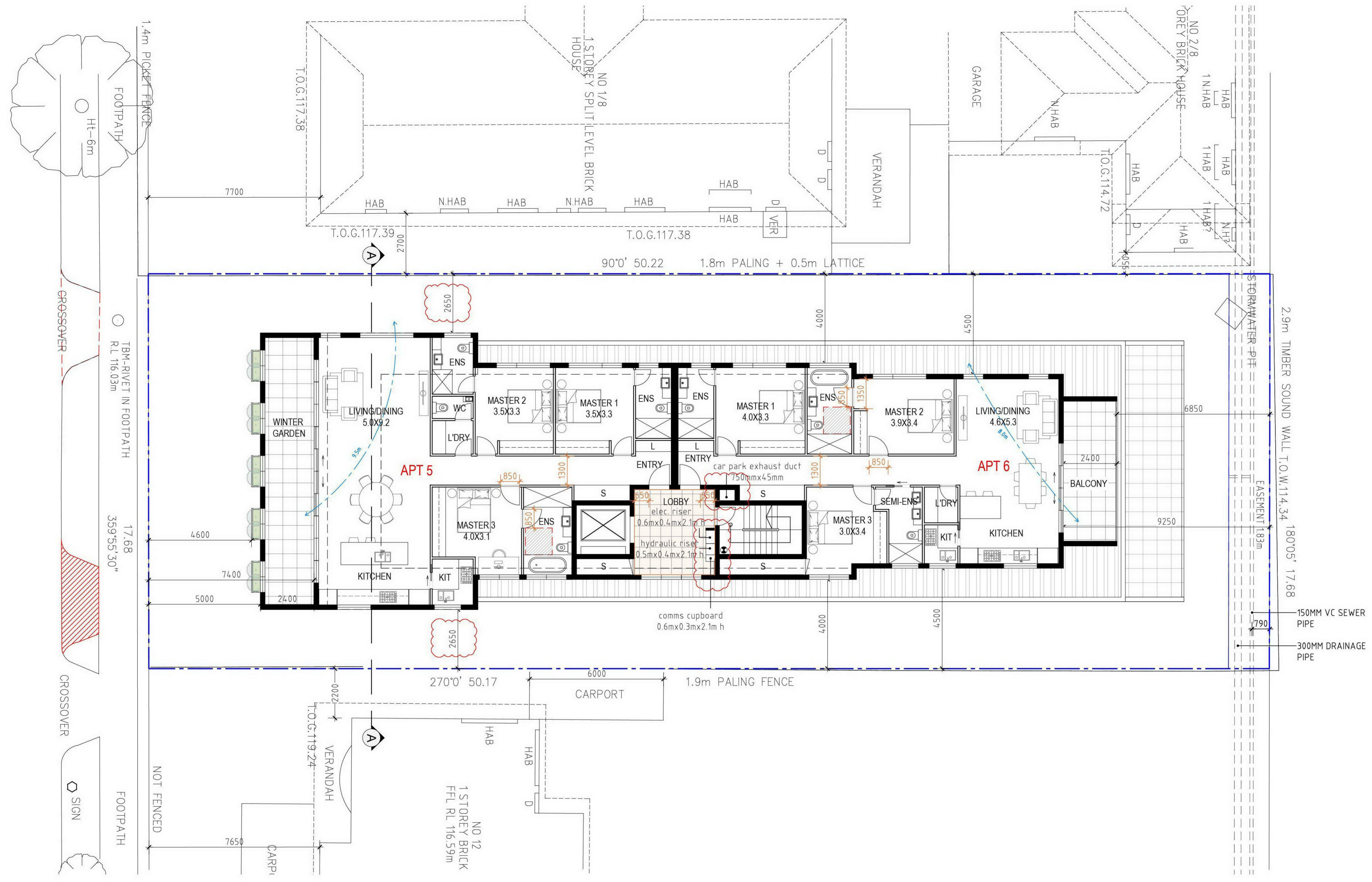


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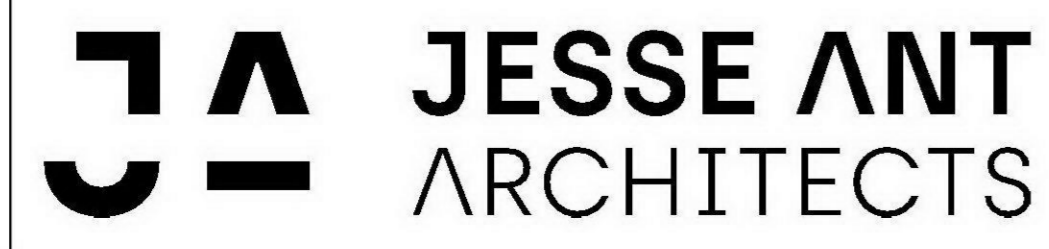
BLAIR ROAD

SNEDDEN DRIVE



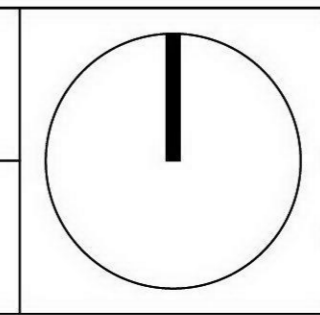
FIRST FLOOR PLAN
SCALE 1:100 @ A1

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FIRST FLOOR PLAN

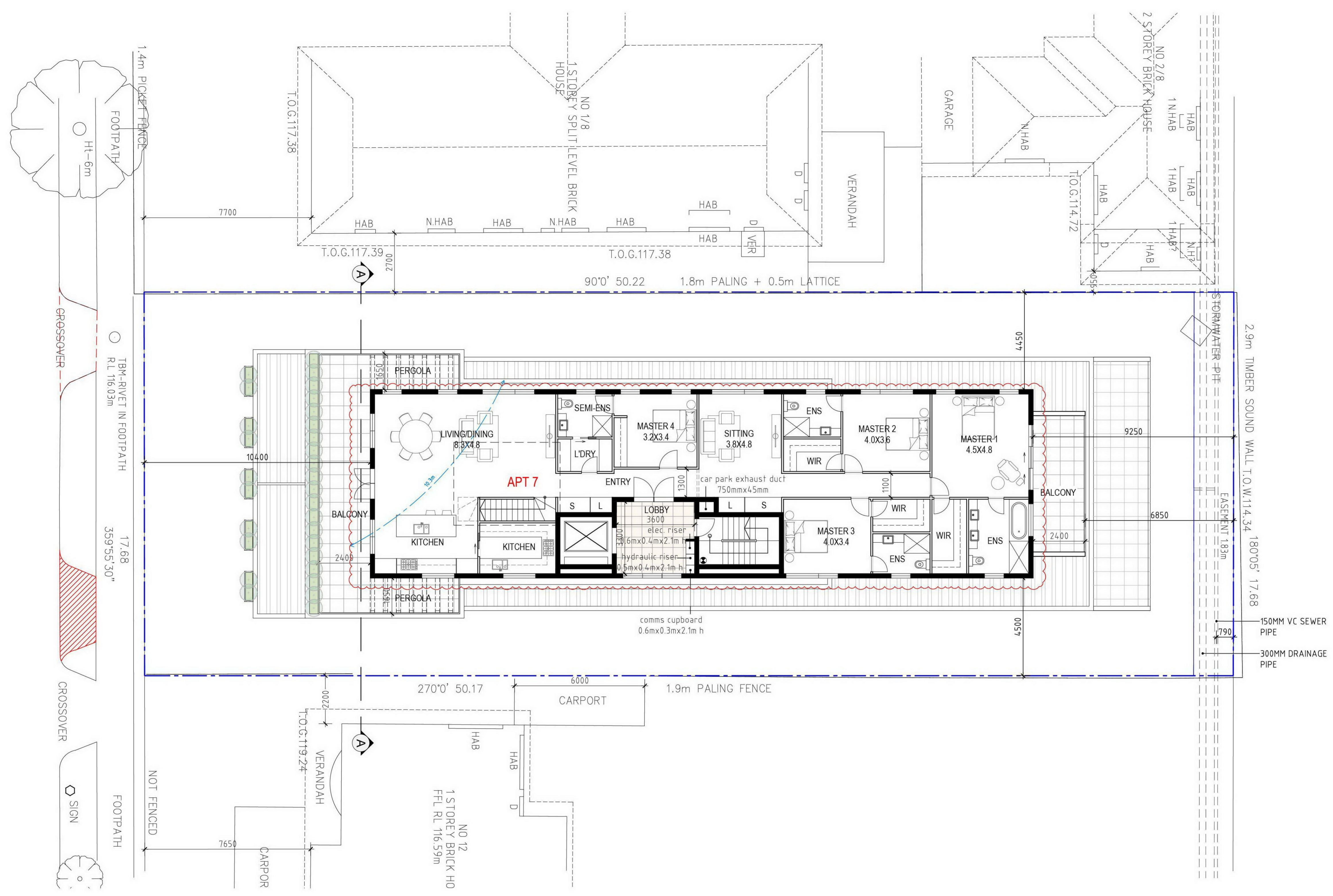


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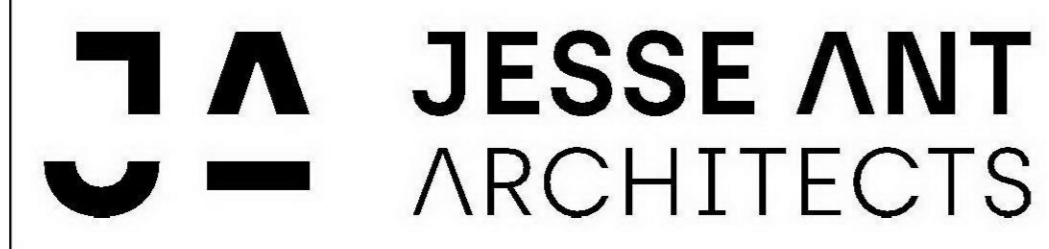
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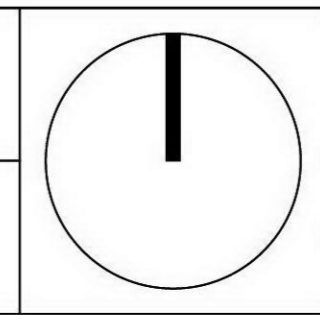
SECOND FLOOR PLAN
SCALE 1:100 @ A1

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SECOND FLOOR PLAN

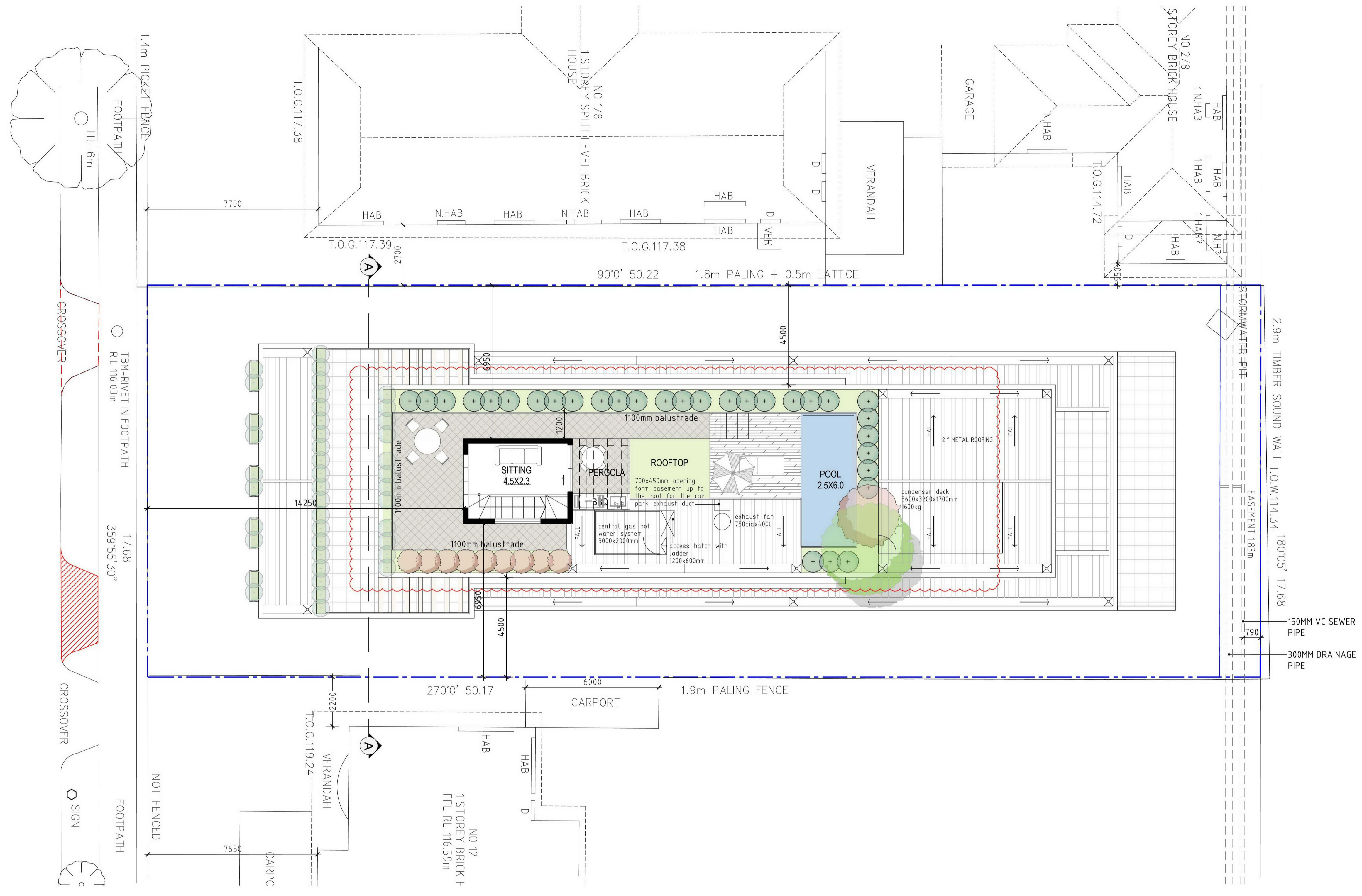


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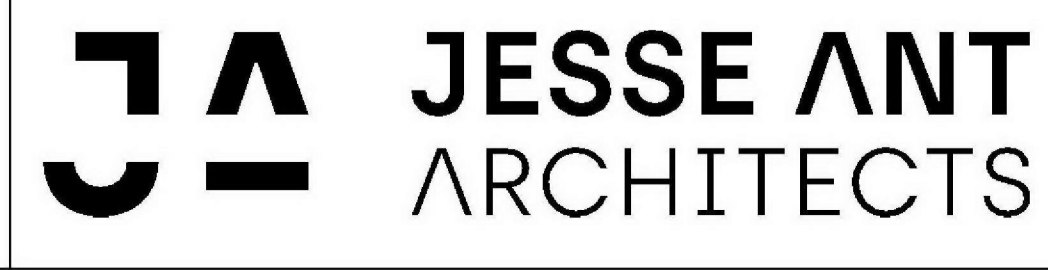
BLAIR ROAD

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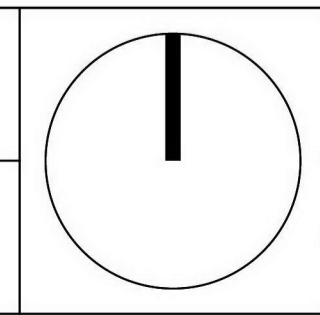
THIRD FLOOR PLAN
SCALE 1:100 @ A1

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THIRD FLOOR PLAN



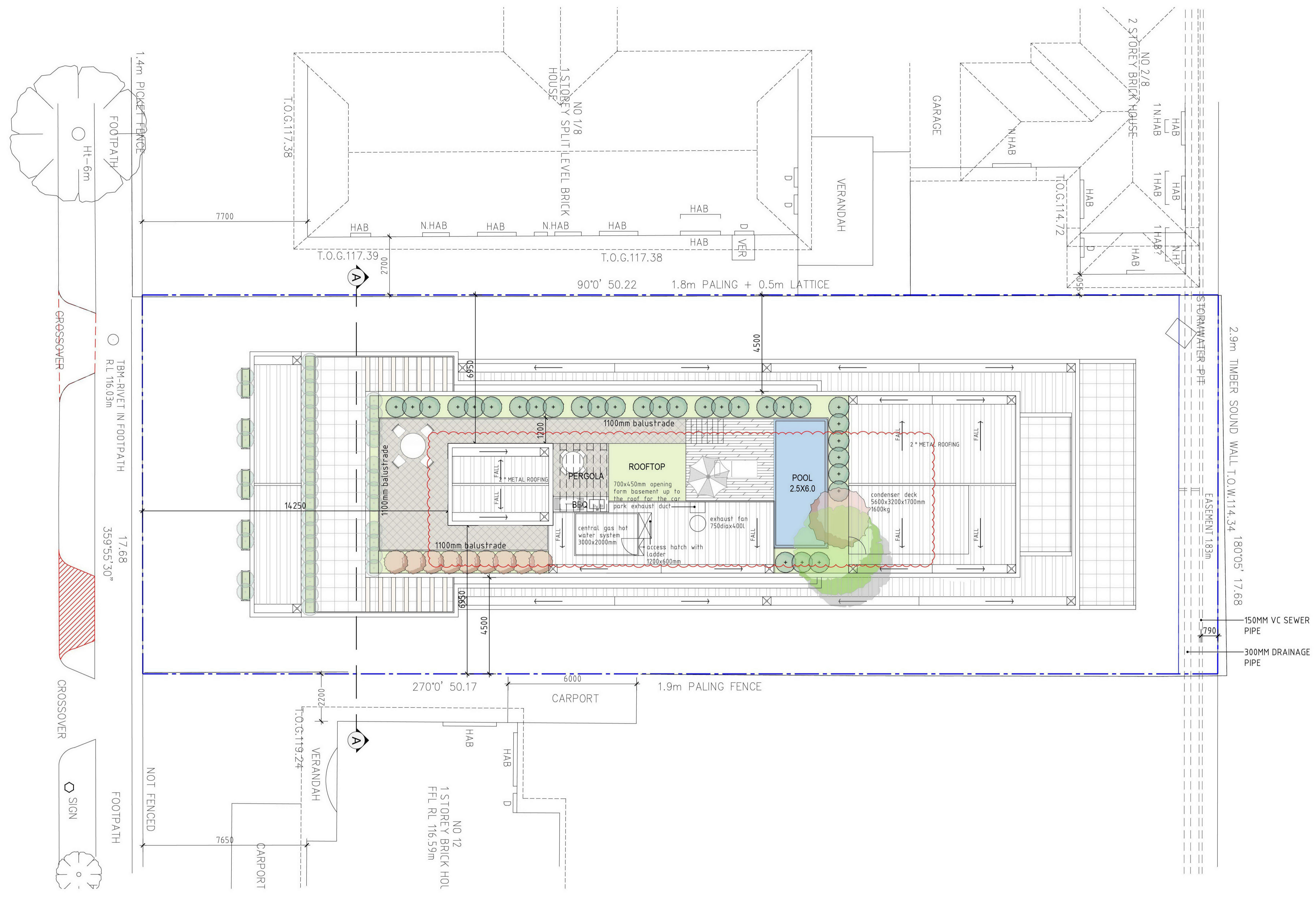
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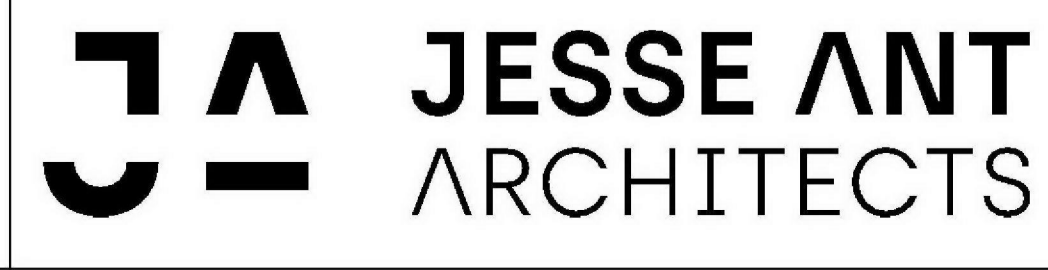
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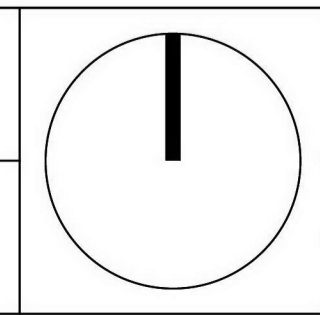
ROOF PLAN
SCALE 1:100 @ A1

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ROOF PLAN



Project Number 21031		Drawing Number TP11	
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Amendment



FRONT ELEVATION
SCALE 1:50 @ A1

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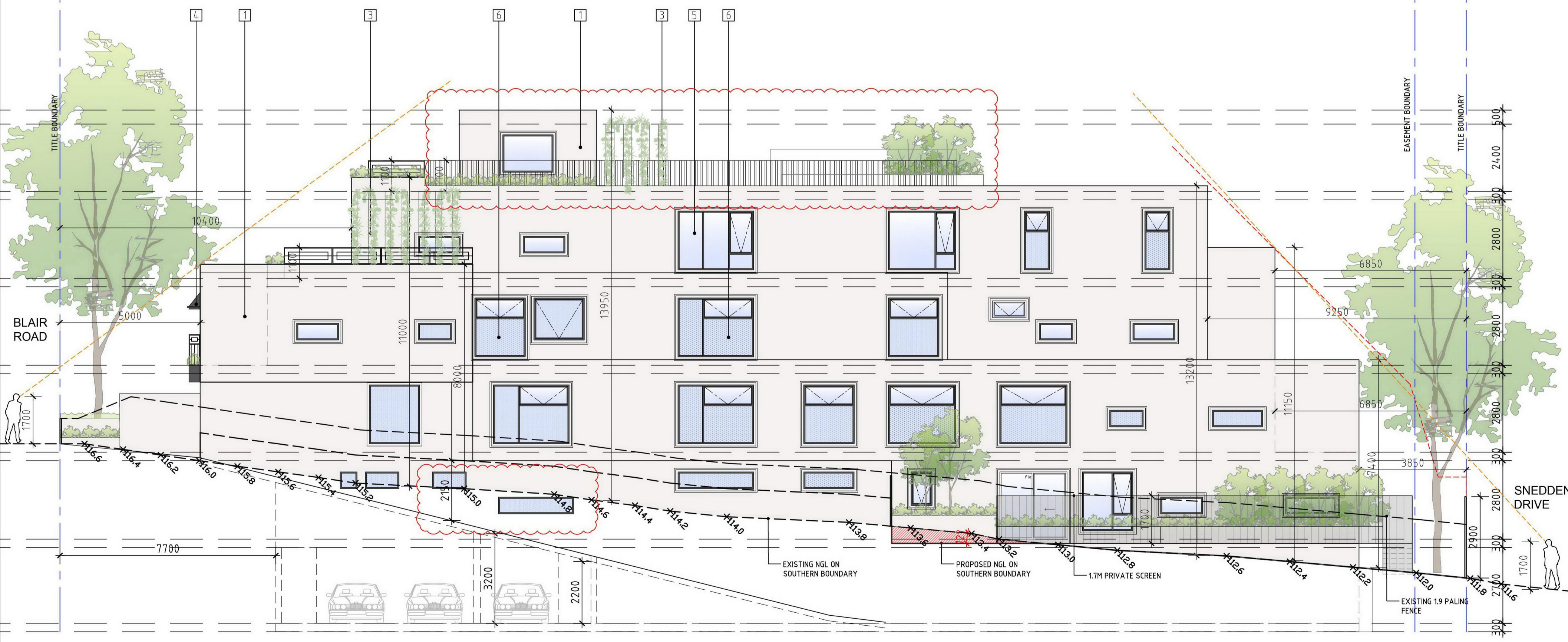


NORTH ELEVATION
SCALE 1:100 @ A1

MATERIAL SCHEDULE:

1		2		3		4		5		6	
	1		2		3		4		5		6

<p>1 SELECTED COLOR RENDER</p> <p>2 SELECTED DARK GREY METAL CALDDING</p> <p>3 SELECTED DARK GREY METAL BATTEN PERGOLA</p>	<p>4 SELECTED DARK GREY FRENCH WINDOW CANVAS</p> <p>5 CLEAR GLAZING</p> <p>6 OBSCURE GLAZING</p>
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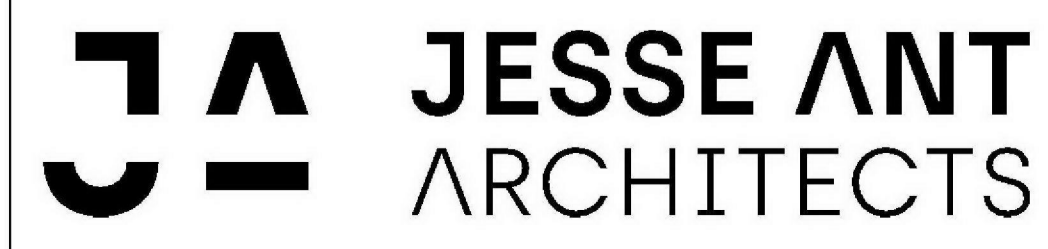


SOUTH ELEVATION
SCALE 1:100 @ A1



EAST ELEVATION
SCALE 1:100 @ A1

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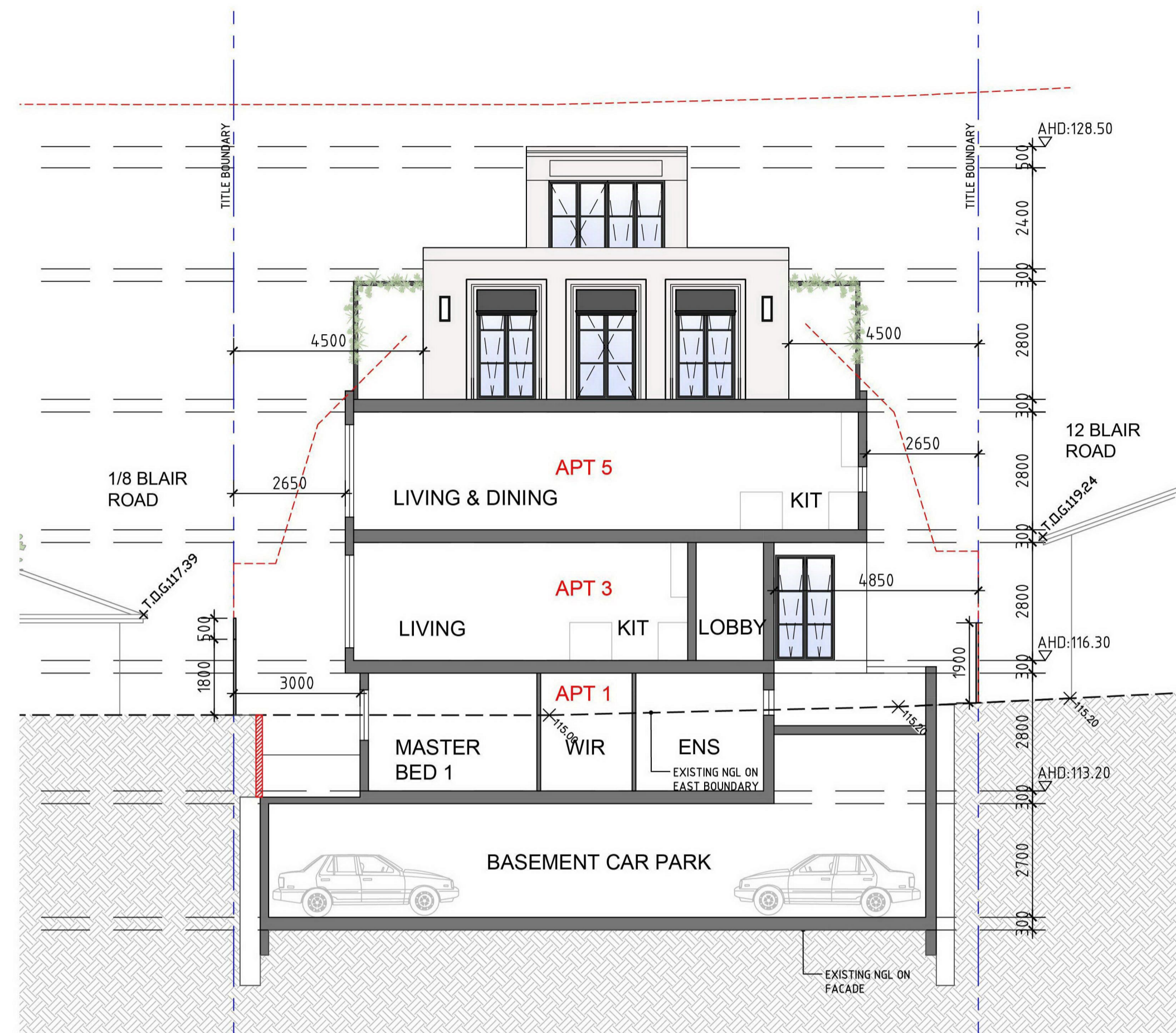


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Project
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 ELEVATIONS

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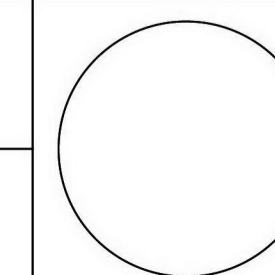
SECTION A-A
SCALE 1:100 @ A1

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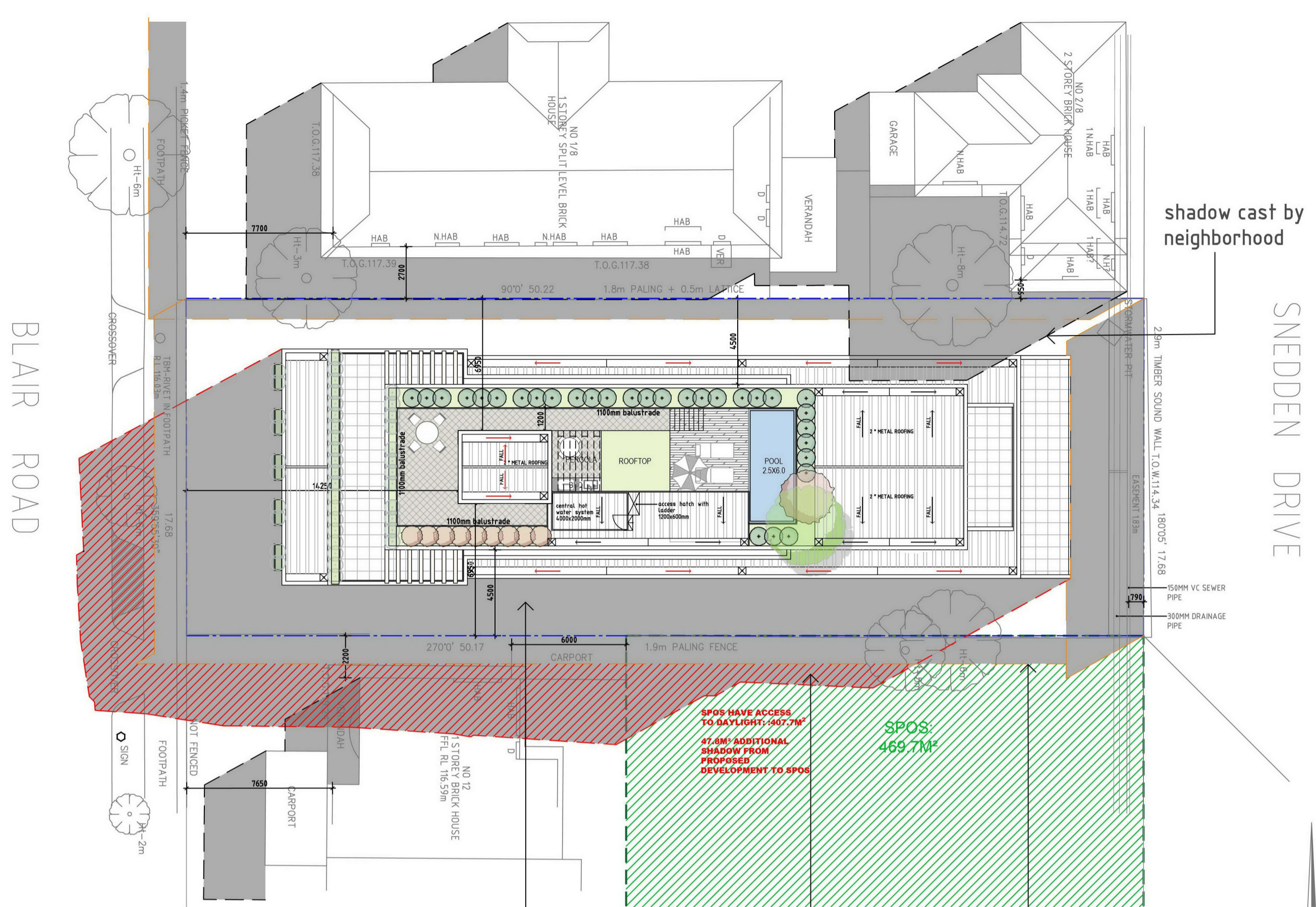
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ABN: 29 469 352 797

Project
10 Blair Road, Glen Waverley
Drawing
SECTION

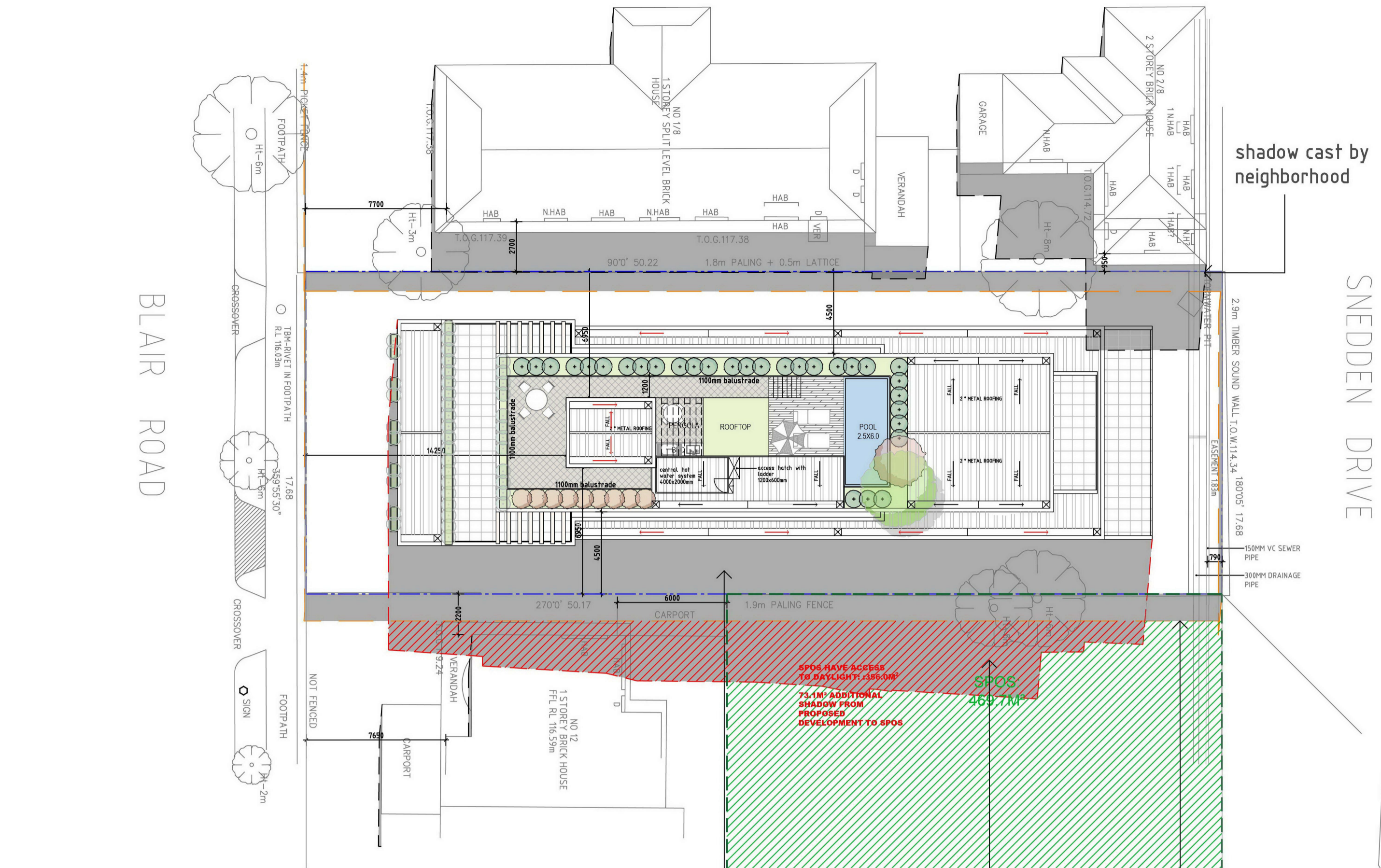


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Amendment

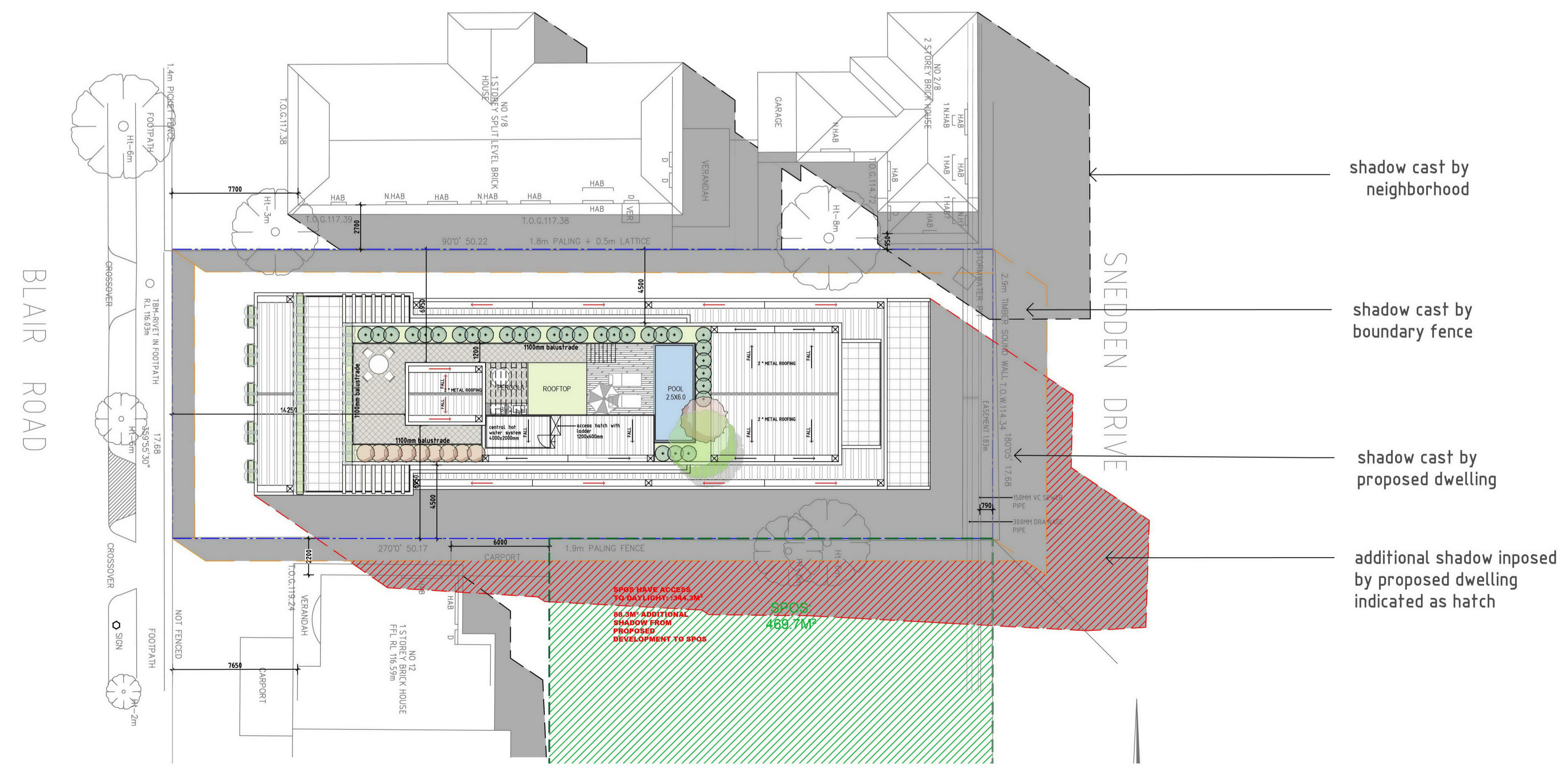


SHADOW DIAGRAM SEP 22 9AM
SCALE 1:200 @ A1



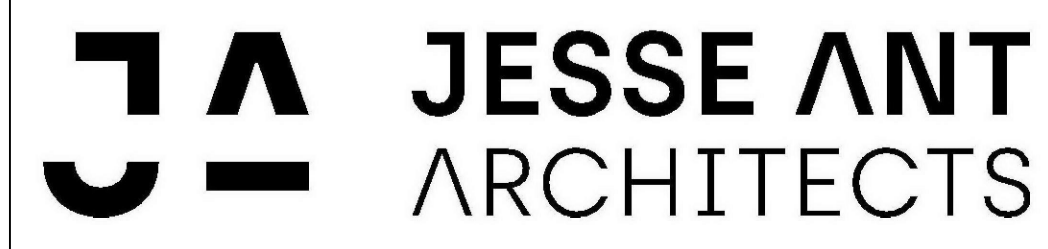
SHADOW DIAGRAM SEP 22 12PM
SCALE 1:200 @ A1

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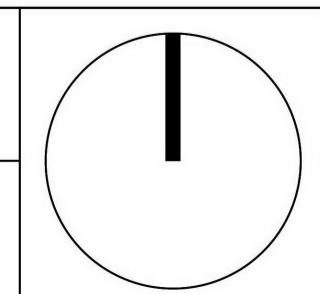
SHADOW DIAGRAM SEP 22 3PM
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Project
10 Blair Road, Glen Waverley
Drawing
SHADOW DIAGRAM

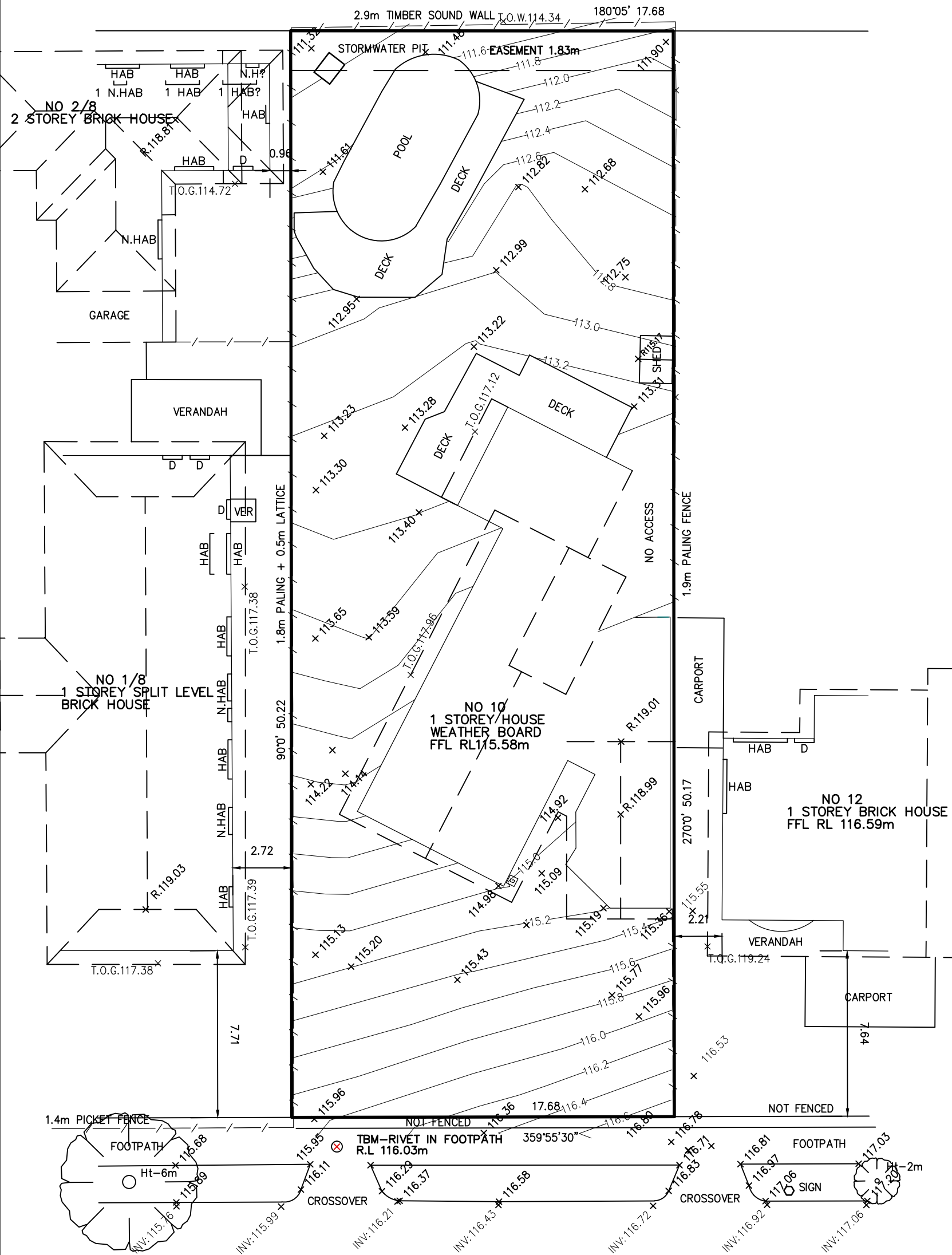


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Drawn	ET	Checked	AL/JW		

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APPROX. TRUE
NORTH

SNEDDEN DRIVE



FOR TITLE RE-ESTABLISHMENT INFORMATION SEE PLAN 1726RE

ABN 42 392 623 937

NLS
NEED LEVEL
 SURVEYING

PH 0409141376

CHECK BEARING & DISTANCE WITH A CLEAR COPY OF SUB-DIVISION. THIS IS NOT A PLAN OF TITLE BOUNDARY RE-ESTABLISHMENT. THIS PLAN IS FOR ARCHITECTURAL & TOWN PLANNING PURPOSES ONLY. NLS ASSUMES NO RESPONSIBILITIES IN THE USE OF THIS SURVEY.

WARNING
 THE PLACEMENT OF BOUNDARIES ON THIS DRAWING ARE MADE BY A BEST FIT TO FENCES, FOOTPATHS OR OTHER POSSIBLE INDICATORS AND DOES NOT NECESSARILY ACCORD WITH THE TRUE POSITION OF THE TITLE BOUNDARIES. A TITLE RE-ESTABLISHMENT SURVEY IS RECOMMENDED TO ASCERTAIN THE TRUE EXTENTS OF TITLE BOUNDARIES. LOCATION OF FENCES OR PEGS HAVE NOT BEEN CHECKED WITH TITLE. THE EXISTENCE OF EASEMENTS HAVE NOT BEEN INVESTIGATED. ALL MEASUREMENTS TO BE CONFIRMED ON SITE

NOTE
 LEVELS ARE TO AN AUSTRALIAN HEIGHT DATUM
 CONTOUR INTERVAL IS 0.200m
 THIS IS NOT A TITLE RE-ESTABLISHMENT SURVEY

SERVICE NOTE
 SERVICES SHOWN HEREON HAVE BEEN LOCATED BY FIELD SURVEY. OTHER HIDDEN UNDERGROUND SERVICES MAY EXIST & PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON SITE, THE RELEVANT AUTHORITIES SHOULD BE CONTACTED.

TREE NOTE
 TREES SHOWN ON THIS DRAWING ARE SHOWN AS APPROXIMATE SIZES AND APPROXIMATE HEIGHTS NOTED. OTHER NONE SIGNIFICANT VEGETATION MAY BE PRESENT.

OFFSET NOTE
 OFFSETS TO ADJOINING BUILDINGS ARE APPROXIMATE DISTANCES TAKEN FROM EITHER ASSUMED PROPERTY BOUNDARY OR SURVEYED FENCE LINE.

CLIENT		JESSE ANT ARCHITECTS	
SITE ADDRESS			
10 BLAIR ROAD GLEN WAVERLEY			
JOB NO	1726	PAPER SIZE	A3
SCALE	1:200	DATE STARTED	19.04.21
DRAWN	RB	FIELD	RB
		CHECKED	RB

BLAIR ROAD

NOTE:
 DUE TO HEAVY VEGETATION NO GUARANTEE CAN BE GIVEN THAT ALL SIGNIFICANT TREES AND STRUCTURES HAVE BEEN SHOWN ON THIS DRAWING. A RE-SURVEY AFTER DEMOLITION MAY BE REQUIRED TO ASCERTAIN THE LOCATION OF ANY TREES OR STRUCTURES THAT ARE NOT SHOWN IN THIS SURVEY.



SUBJECT SITE
10 BLAIR ROAD,
GLEN
WAVERLEY

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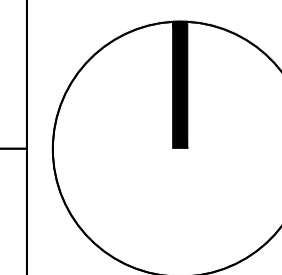
LOCATION PLAN
SCALE 1:500 @ A1

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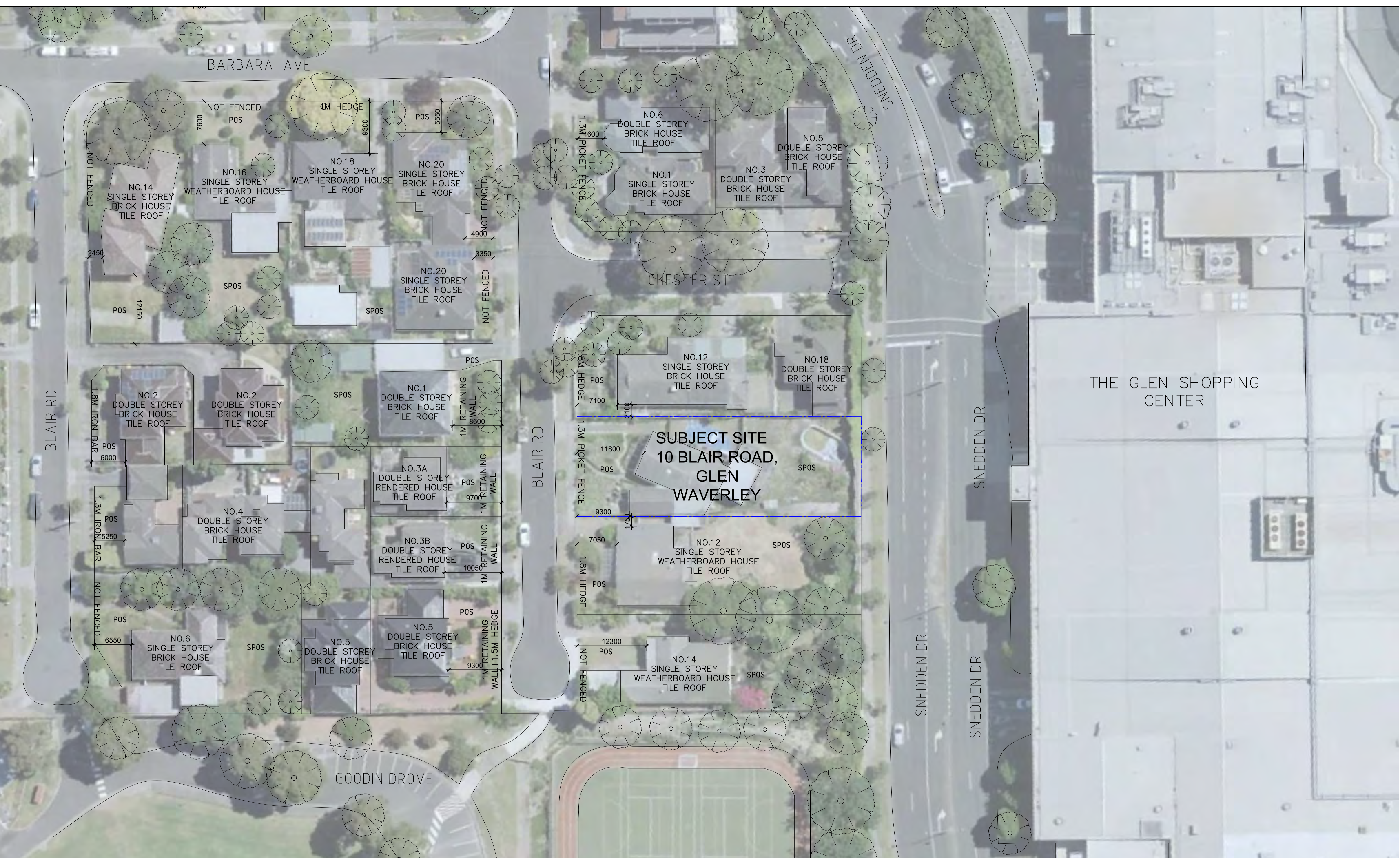


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Project
10 Blair Road, Glen Waverley
Drawing
LOCATION PLAN



Project Number 21031		Drawing Number TP01	
Date 16-03-2022	Scale 1:500	Amendment	
Drawn ET	Checked AL/JW		



NEIGHBORHOOD CHARACTER
SCALE 1:300 @ A1

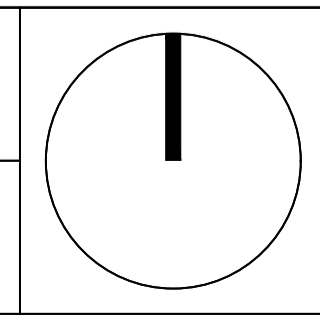
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Project
10 Blair Road, Glen Waverley
Drawing
NEIGHBORHOOD CHARACTER & SITE ANALYSIS



Project Number 21031		Drawing Number TP02	
Date 16-03-2022	Scale 1:300	Amendment	
Drawn ET	Checked AL/JW		



THE GLEN SHOPPING CENTER

DESIGN RESPONSE
SCALE 1:300 @ A1

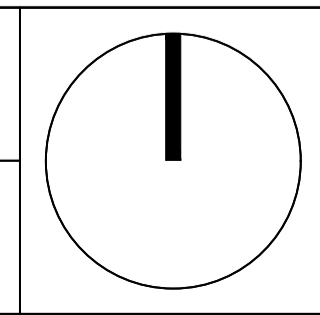
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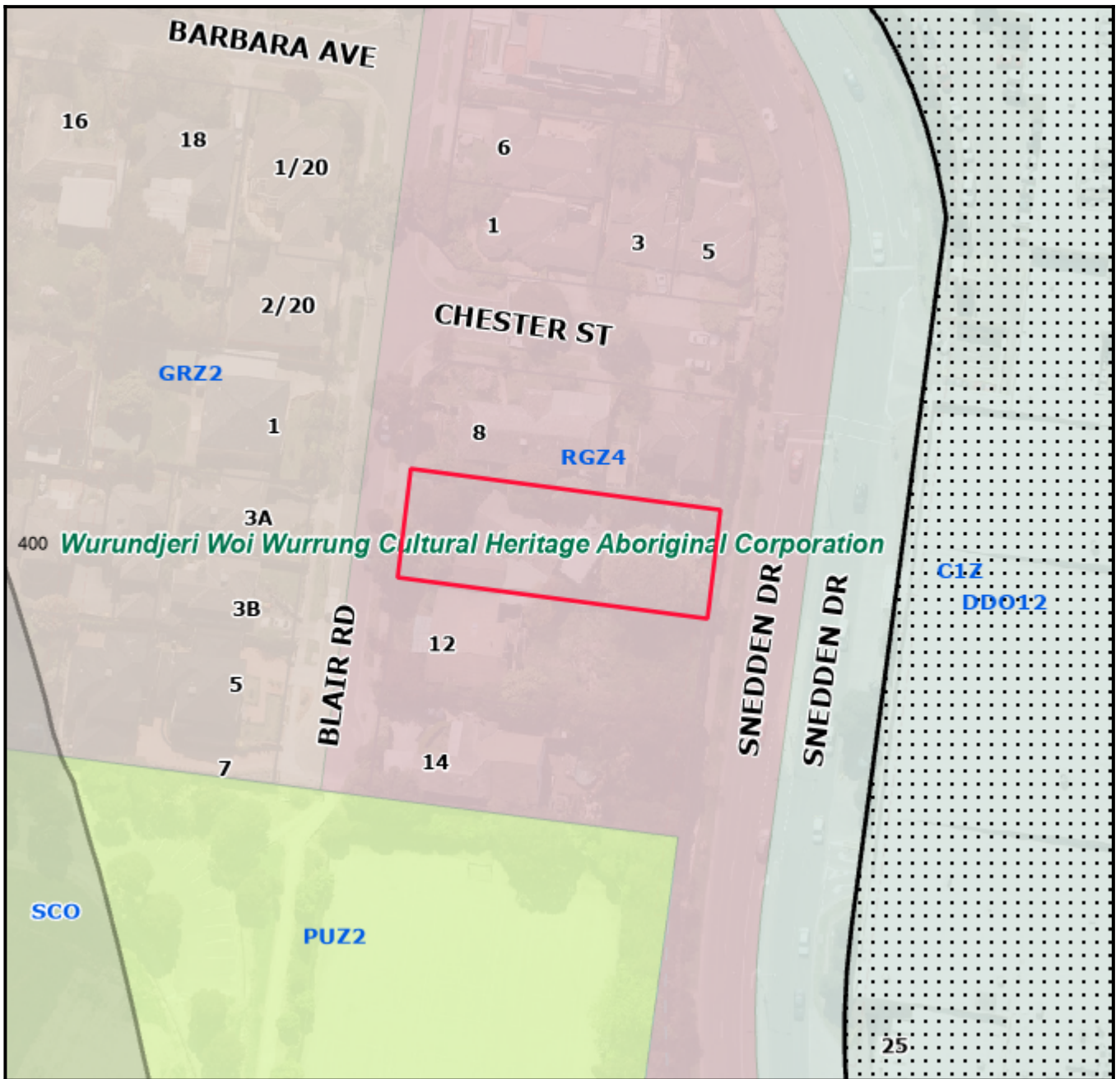
Project
10 Blair Road, Glen Waverley
Drawing
DESIGN RESPONSE



Project Number 21031		Drawing Number TP03	
Date 16-03-2022	Scale 1:300	Amendment	
Drawn ET	Checked AL/JW		



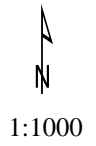
Planning Overlays and Zones



Legend

Planning Zones

Planning Overlays

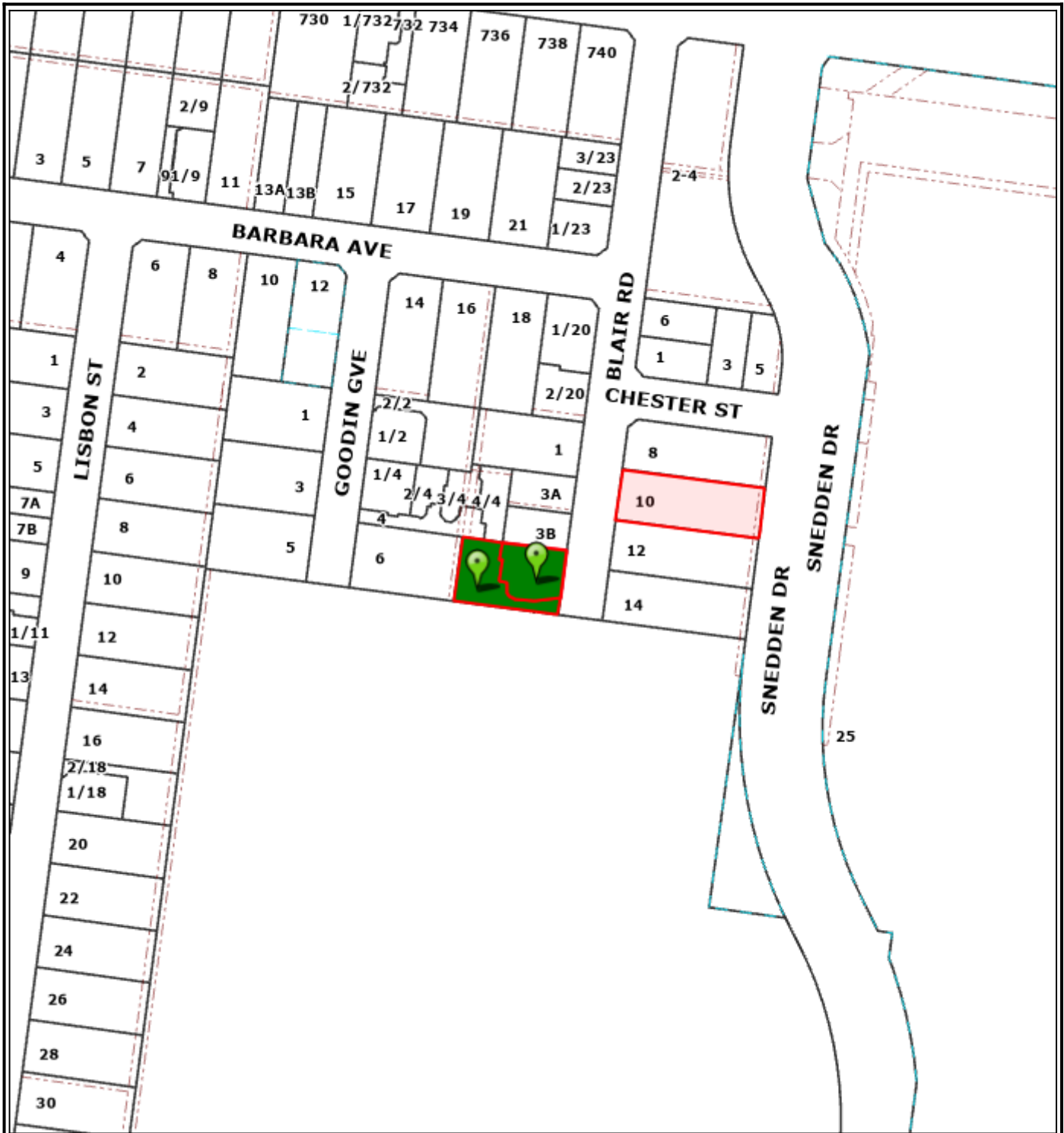


Address: 10 Blair Road GLEN WAVERLEY VIC 3150

Area: 887.00000 sqm

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Objector Map

Subject land shaded light red. Objector properties shaded dark green and pinpointed.



1:2000



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Legend

- | | | |
|-------------------|---------------------------|------------------------------------|
| Property | Open Space Public Access | Social/ family recreation |
| Proposed Property | Accessway/ trail | Sport |
| Common Property | Conservation | Utility/ buffer/ enviro constraint |
| Easements | Memorial Park | Visual amenity |
| Raillines | Play | Water based recreation |
| Reserves | Relaxation/ contemplation | |

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