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#### 12-14 JOHNSON ST, OAKLEIGH



VIEW OF SITE FROM JOHNSON STREET LOOKING EAST

#### EXISTING OPEN CARPARK 12-14 JOHNSON ST, OAKLEIGH



MILLROAD - LOOKING NORTH OVER EXISTING CARPARK

#### 12-14 JOHNSON ST, OAKLEIGH



VIEW OF JOHNSON / MILL ROAD INTERSECTION LOOKING SOUTH

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REV DATE DESCRIPTION
A 16.06.20 LODGEMENT

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#### 12-14 JOHNSON ST, OAKLEIGH



MILL ROAD / JOHNSON STREET INTERSECTION LOOKING NORTH-EAST

#### 12-14 JOHNSON ST, OAKLEIGH



VIEW FROM JOHNSON STREET LOOKING NORTH - EAST

#### 12-14 JOHNSON ST, OAKLEIGH

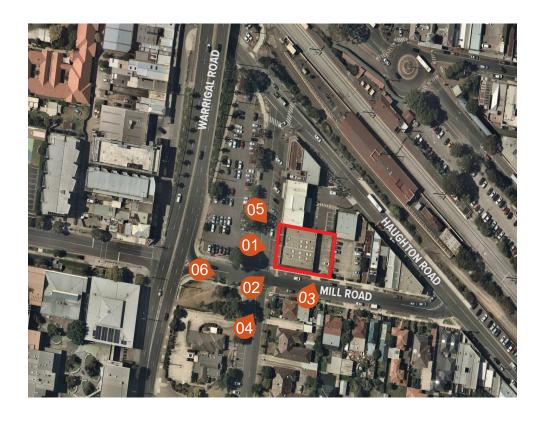


VIEW LOOKING EAST FROM MILL ROAD

REV DATE DESCRIPTION

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| PROJECT:                       |
|--------------------------------|
| PROPOSED MIXED USE DEVELOPMENT |
| 12-14 JOHNSON STREET           |

DRAWING TITLE: PHOTOGRAPHIC STUDY

| DATE:      | 16.06.20 | JOB N°:      | 40007 |
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| SCALE:     | NTS      | REVISION N°: | А     |
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#### 12-14 JOHNSON ST, OAKLEIGH



VIEW LOOKING WEST FROM MILL ROAD

#### 12-14 JOHNSON ST, OAKLEIGH



VIEW FROM HAUGHTON ROAD AND MILL ROAD INTERSECTION LOOKING WEST

#### 12-14 JOHNSON ST, OAKLEIGH



VIEW EAST FROM WARRIGAL ROAD





VIEW FROM HAUGHTON ROAD NEAR JOHNSON STREET INTERSECTION LOOK SOUTH

EXISTING SUBJECT SITE CARPARK



VIEW FROM HAUGHTON ROAD LOOKING SOUTH

### 12-14 JOHNSON ST, OAKLEIGH SUBJECT SITE



VIEW FROM WARRIGAL ROAD OVERPASS

#### **12-14 JOHNSON ST, OAKLEIGH** SUBJECT SITE



JOHNSON STREET LOOKING NORTH

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PROJECT:
PROPOSED MIXED USE DEVELOPMENT
12-14 JOHNSON STREET

DRAWING TITLE:
PHOTOGRAPHIC STUDY

| DATE:       | 16.06.20 | JOB Nº:      | 40007 |
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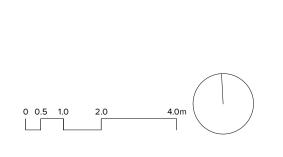




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| Area in accordance with the Method of Measurement for Residential Property                                                                                         |                      |                      |
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PROJECT:

12-14 JOHNSON STREET

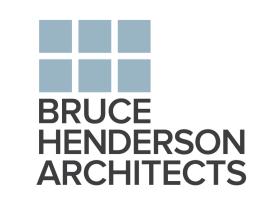
OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:

PROPOSED FLOOR PLAN - BASEMENT 2

| DATE:      | 07.07.20     | JOB N°:    | 40007       |
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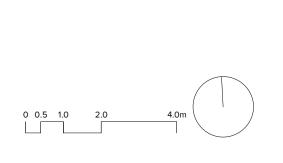




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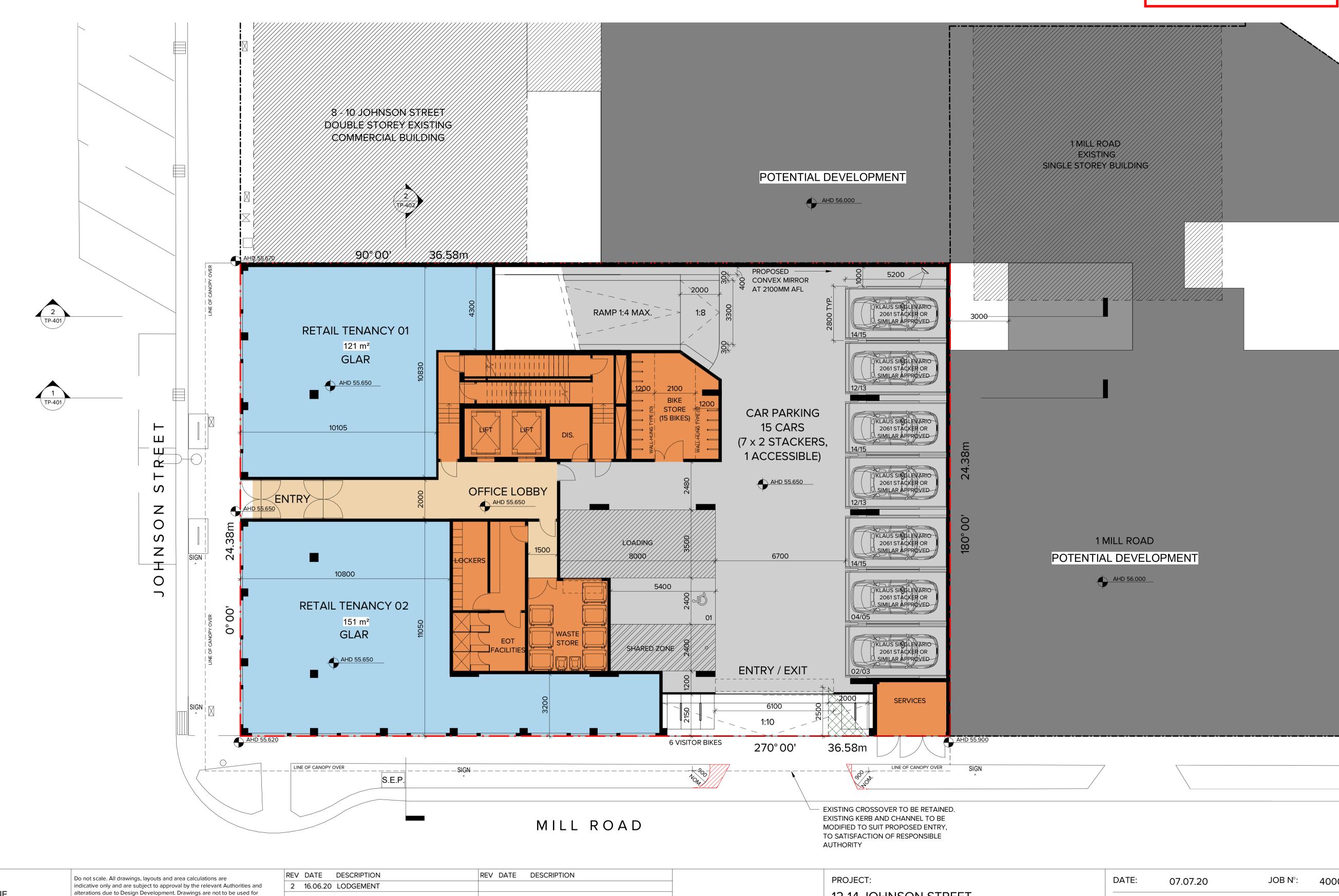
12-14 JOHNSON STREET

OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:

PROPOSED FLOOR PLAN - BASEMENT 1

|   | DATE:     | 07.07.20   | JOB N°:    | 40007 |
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POTENTIAL DEVELOPMENT

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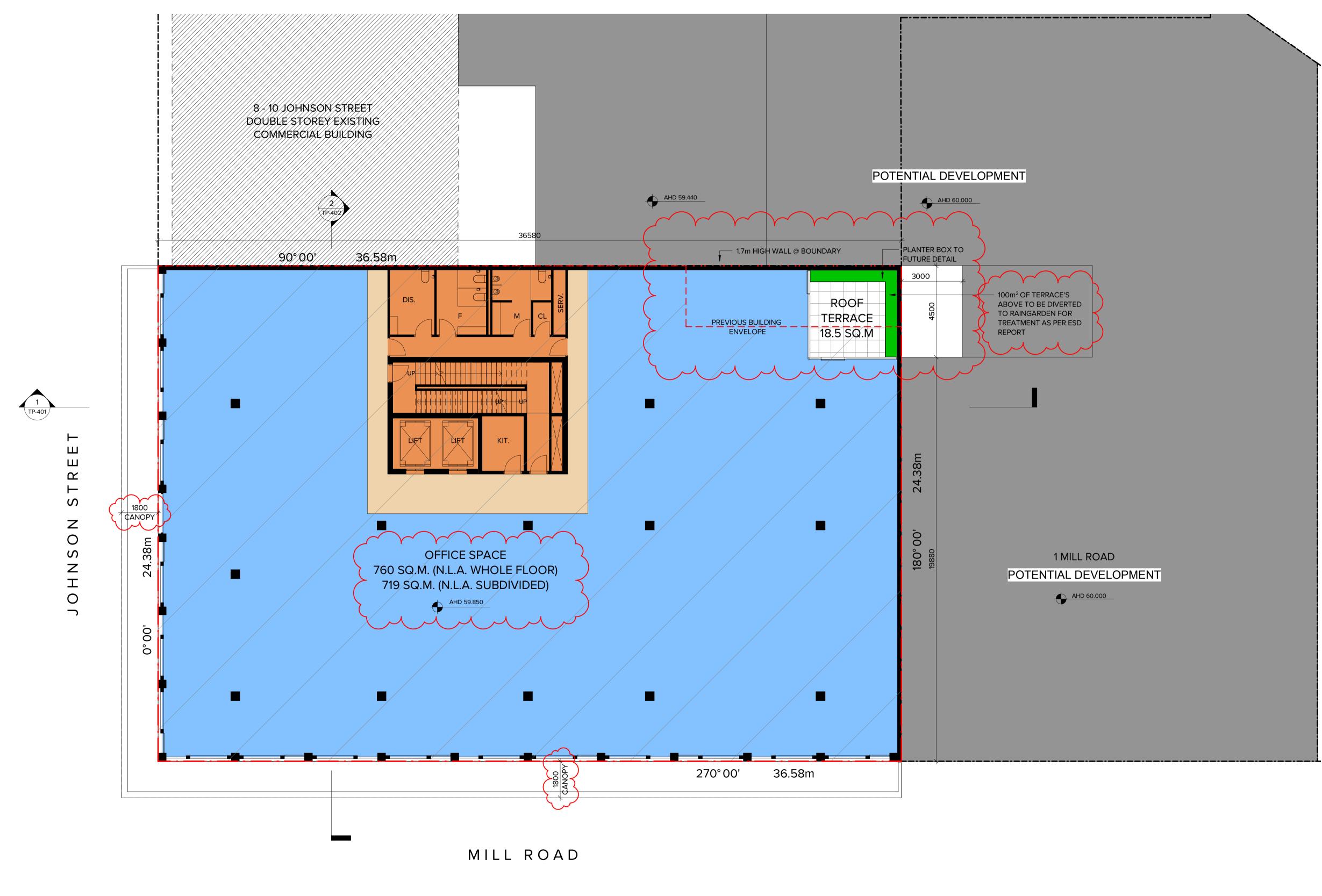
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12-14 JOHNSON STREET OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:

PROPOSED FLOOR PLAN - GROUND

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| alterations due to Design Development. Drawings are not to be used for construction. All apartment and balcony areas are calculated as Gross Floor                 | 2 16.06.20 LODGEMENT        |                      |   |
| Area in accordance with the Method of Measurement for Residential Property                                                                                         | 3 07.07.20 NOTES ADDED      |                      |   |
| as published by the Property Council of Australia.                                                                                                                 |                             |                      |   |
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PROJECT:

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OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:

PROPOSED FLOOR PLAN - LEVEL 1

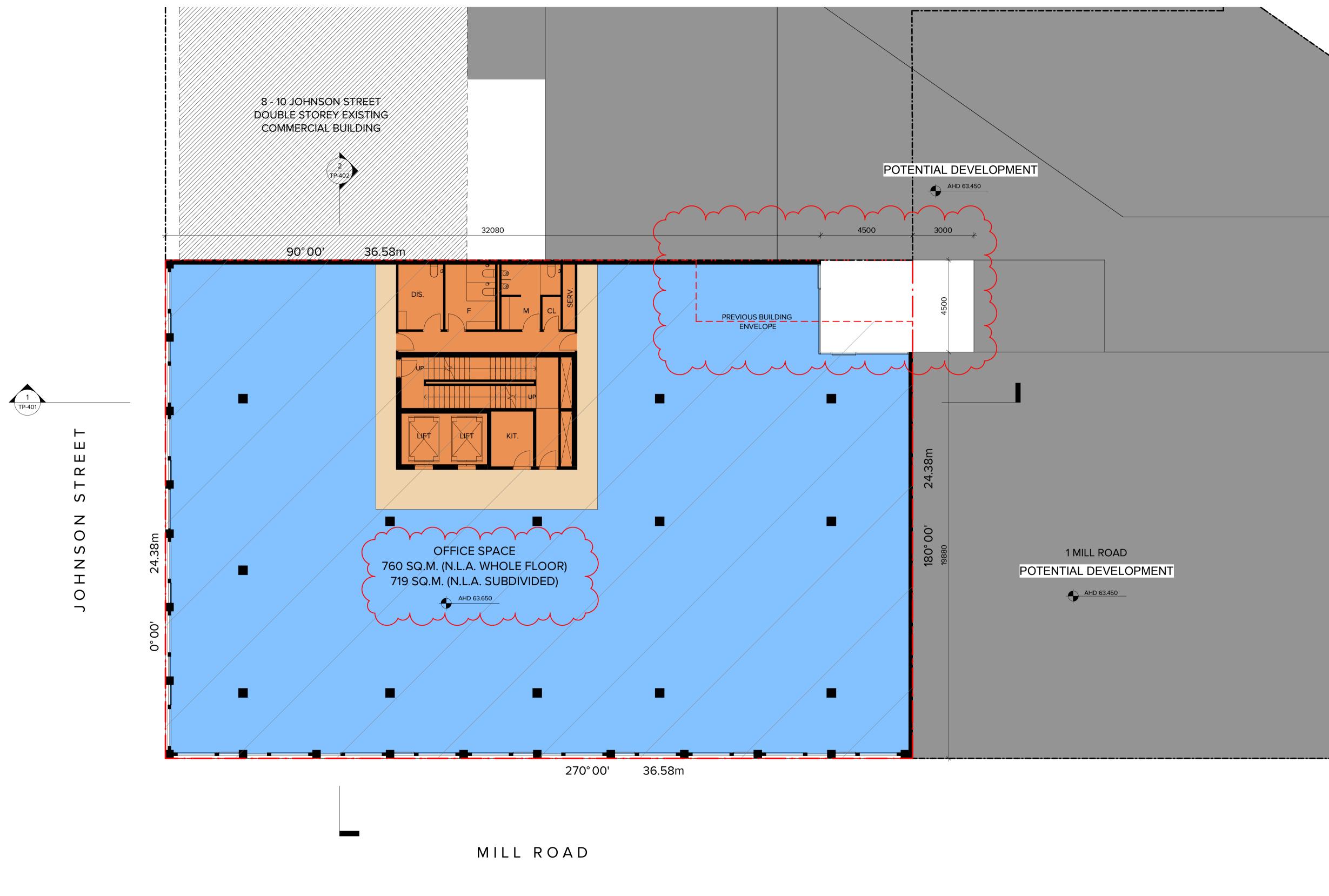
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PROJECT:

12-14 JOHNSON STREET

OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:

PROPOSED FLOOR PLAN - LEVEL 2

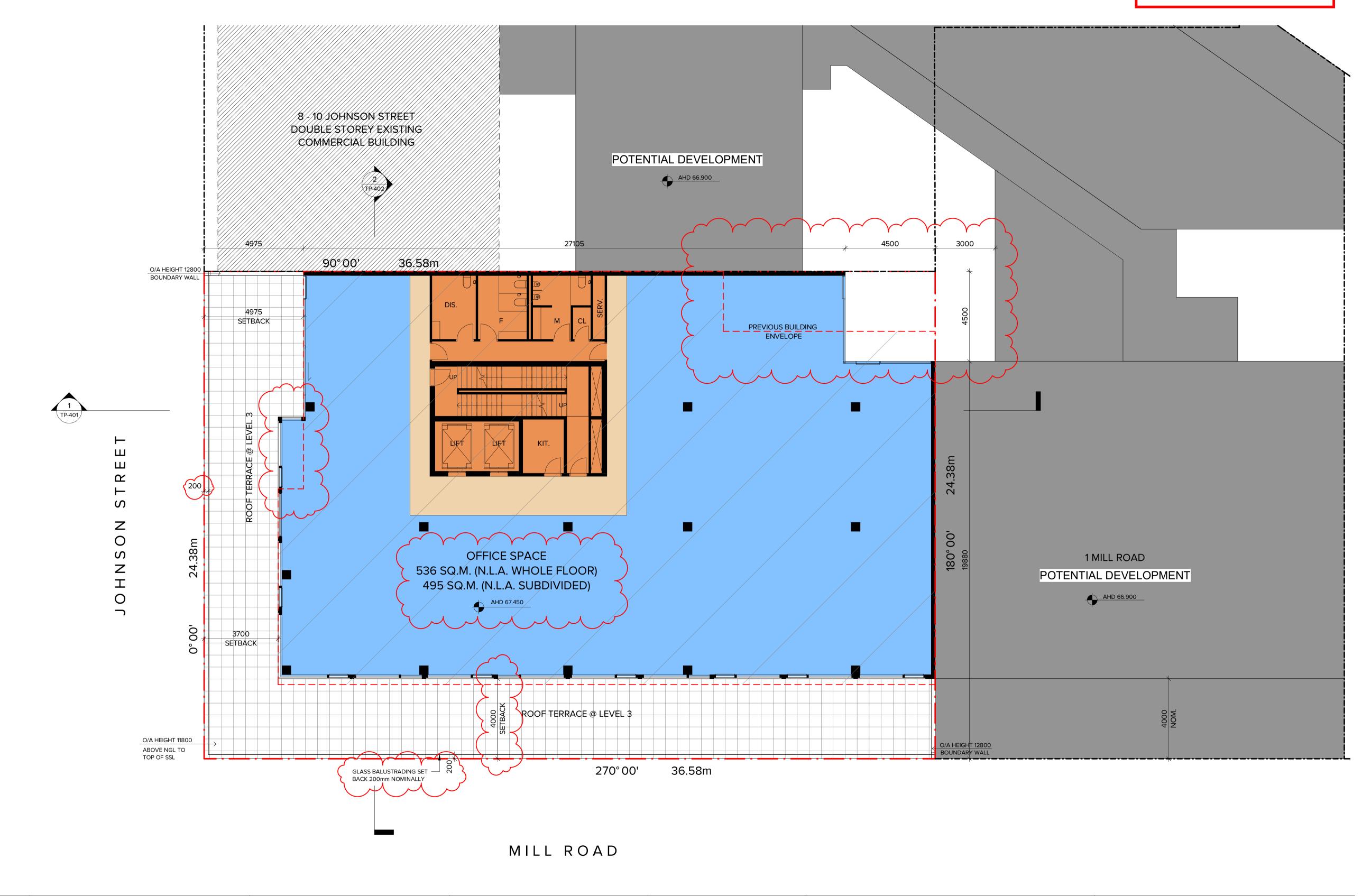
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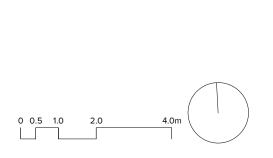
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PROJECT:

12-14 JOHNSON STREET

OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:

PROPOSED FLOOR PLAN - LEVEL 3

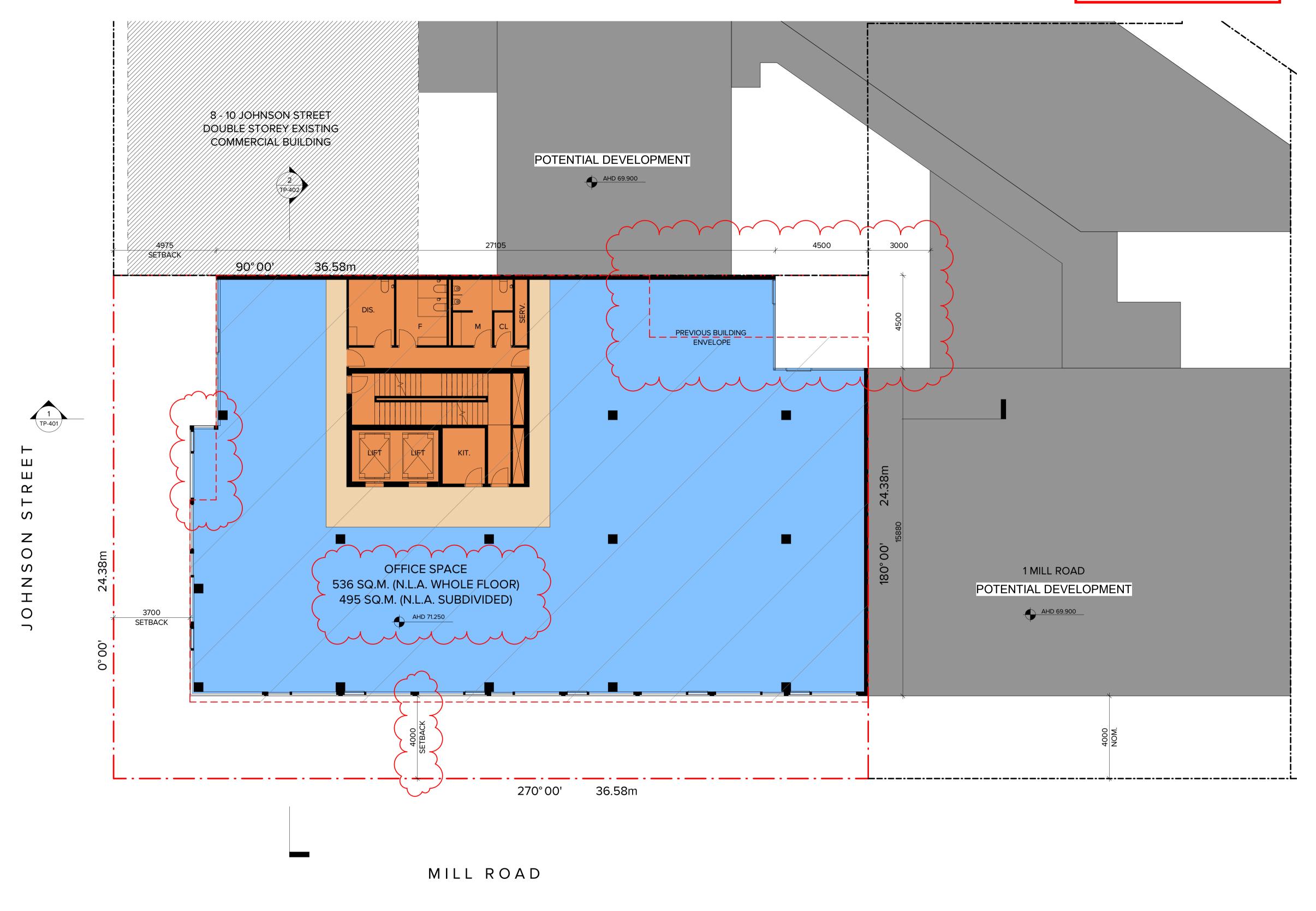
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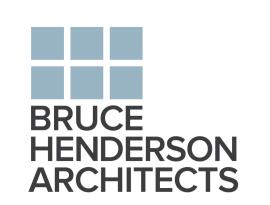
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 JR

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 TP-208





**EXISTING BUILDING** 

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12-14 JOHNSON STREET

OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:

PROPOSED FLOOR PLAN - LEVEL 4

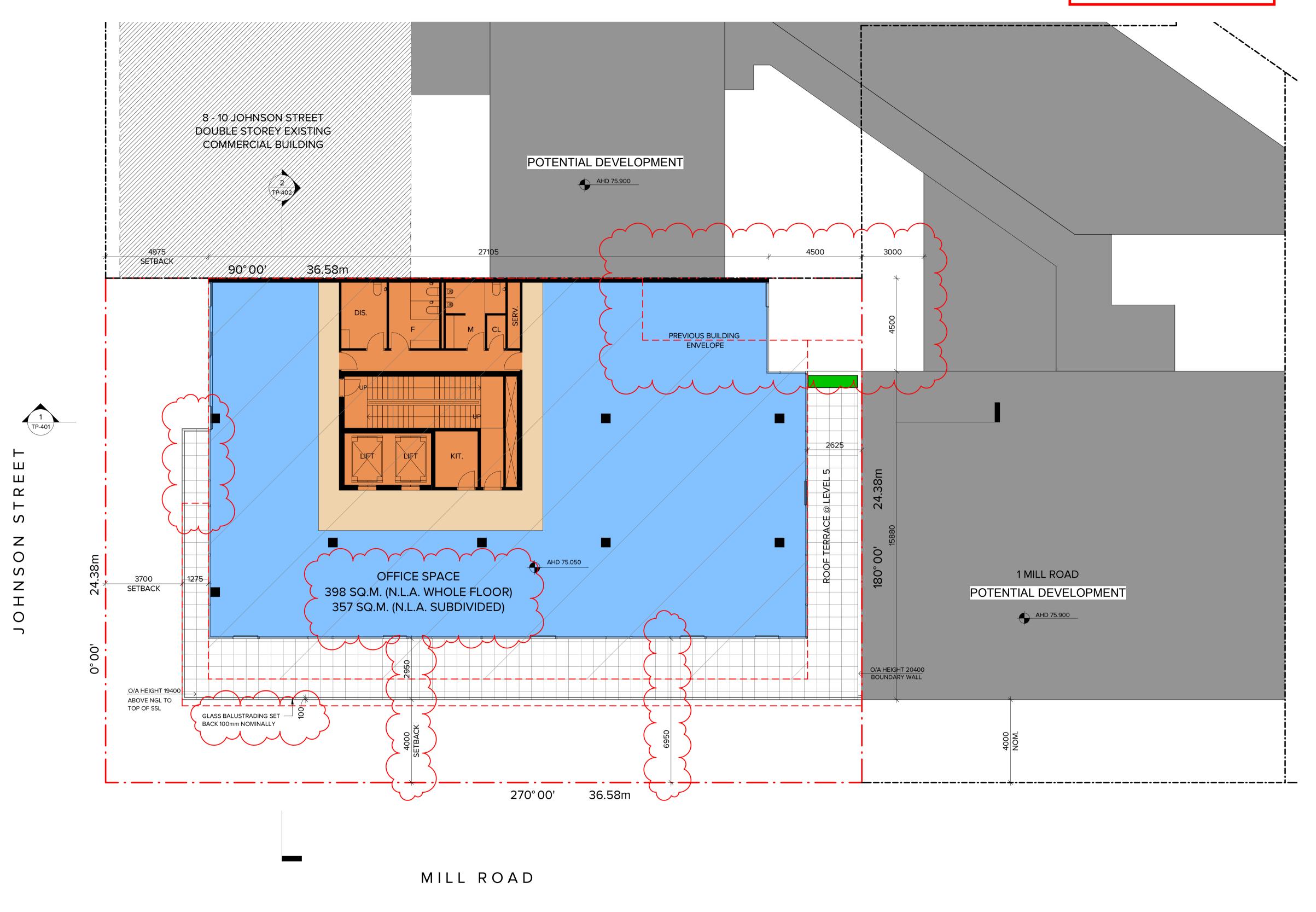
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 JOB №: 40007

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 REVISION №: 2

 DRAWN:
 JR

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 DRAWING №:

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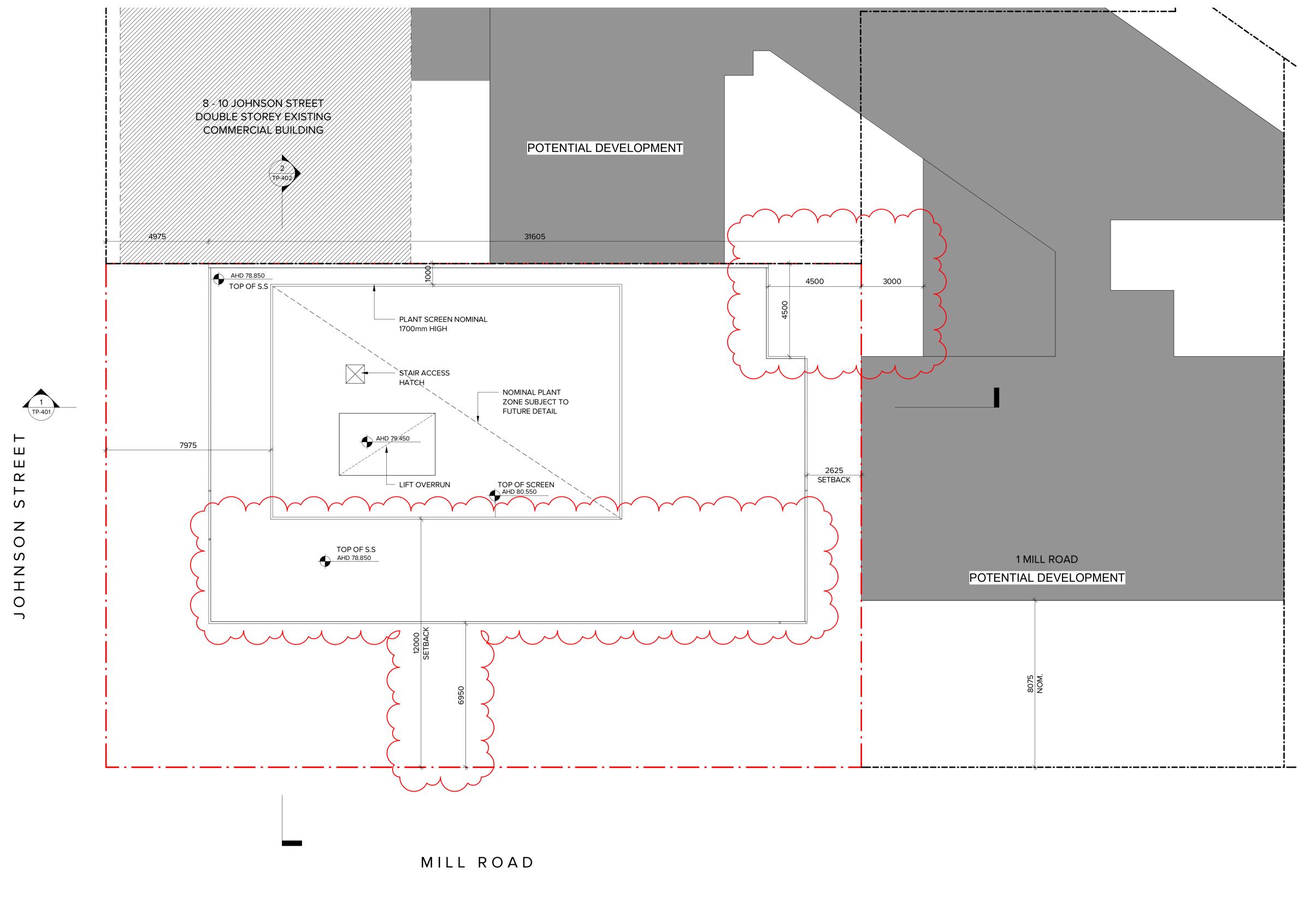


PROJECT: 12-14 JOHNSON STREET OAKLEIGH - OFFICE DEVELOPMENT DRAWING TITLE:

| DATE:      | 07.07.20   | JOB N°:    | 4000            |
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TOWNPLANNING

TP-210

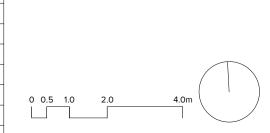




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|                                                                                                                                                                                                                                                                                                                                                                                                                            |  | 1 01.06.20 | UPDATED SETBACKS |          |             |      |
|                                                                                                                                                                                                                                                                                                                                                                                                                            |  | 2 16.06.20 | LODGEMENT        |          |             |      |
|                                                                                                                                                                                                                                                                                                                                                                                                                            |  |            |                  |          |             |      |
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|                                                                                                                                                                                                                                                                                                                                                                                                                            |  |            |                  |          |             |      |
|                                                                                                                                                                                                                                                                                                                                                                                                                            |  |            |                  |          |             |      |



PROJECT:

12-14 JOHNSON STREET

OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:

PROPOSED FLOOR PLAN - ROOF

 DATE:
 07.07.20
 JOB №:
 400

 SCALE:
 1:100 @ A1
 REVISION №:

 DRAWN:
 JR

 DRAWING STATUS:
 DRAWING №:

TP-211

TOWNPLANNING

## **EXTERNAL FINISHES LEGEND**

COMMERCIAL ALUMINIUM WINDOW FRAMING SYSTEM CUSTOM DESIGN IN ANODIZED FINISH AAF - EVERSHIELD
COLOUR: BURNT SIENNA E29TM (MATT) OR SIMILAR
APPROVED

COMMERCIAL ALUMINIUM WINDOW FRAMING SYSTEM CUSTOM DESIGN IN ANODIZED FINISH AAF - EVERSHIELD
COLOUR: MEDALLION BRONZE E44TL (ILLUSTRO) OR
SIMILAR APPROVED

COMMERCIAL ALUMINIUM WINDOW FRAMING SYSTEM CUSTOM DESIGN IN ANODIZED FINISH AAF - EVERSHIELD
COLOUR: SEA BREEZE E67TM (MATT) OR SIMILAR
APPROVED

ALUMINIUM SHEET CLADDING TO MATCH AW02 COLOUR

PERFORATED ALUMINIUM SCREEN TO MATCH AW01

PERFORATED ALUMINIUM SCREEN TO MATCH AW02 COLOUR

PERFORATED ANODIZED ALUMINIUM PLANT SCREEN TO MATCH AW03 COLOUR -'SEA BREEZE'

DARK GREY COLOUR GLASS

MID GREY COLOUR GLASS

GL03) SILVER GREY COLOUR GLASS

GL04) CLEAR GLASS

ROOF

\_ A<u>HD: 7885</u>0 \_\_ 🔽\_\_

LEVEL 05
AHD: 75050 \_ \( \sqrt{} \)

LEVEL 04

LEVEL 03

LEVEL 02
AHD: 63650 \\_

LEVEL 01 \_AHD: 59850\_\_ \( \triangle \)\_\_\_

MILL ROAD

DATE:

GROUND LEVEL

\_ A<u>HD: 6745</u>0 \_\_ 🔽\_\_

AHD: 71250 \_ 🗸

FRAMELESS TOUGHENED CLEAR GLASS ENTRY DOORS

PRECAST CONCRETE / MASONARY WALL COLOUR - LIGHT

NOMINAL 20mm REBATE TO MASONARY WALL PAINTED TO MATCH COLOUR AW02

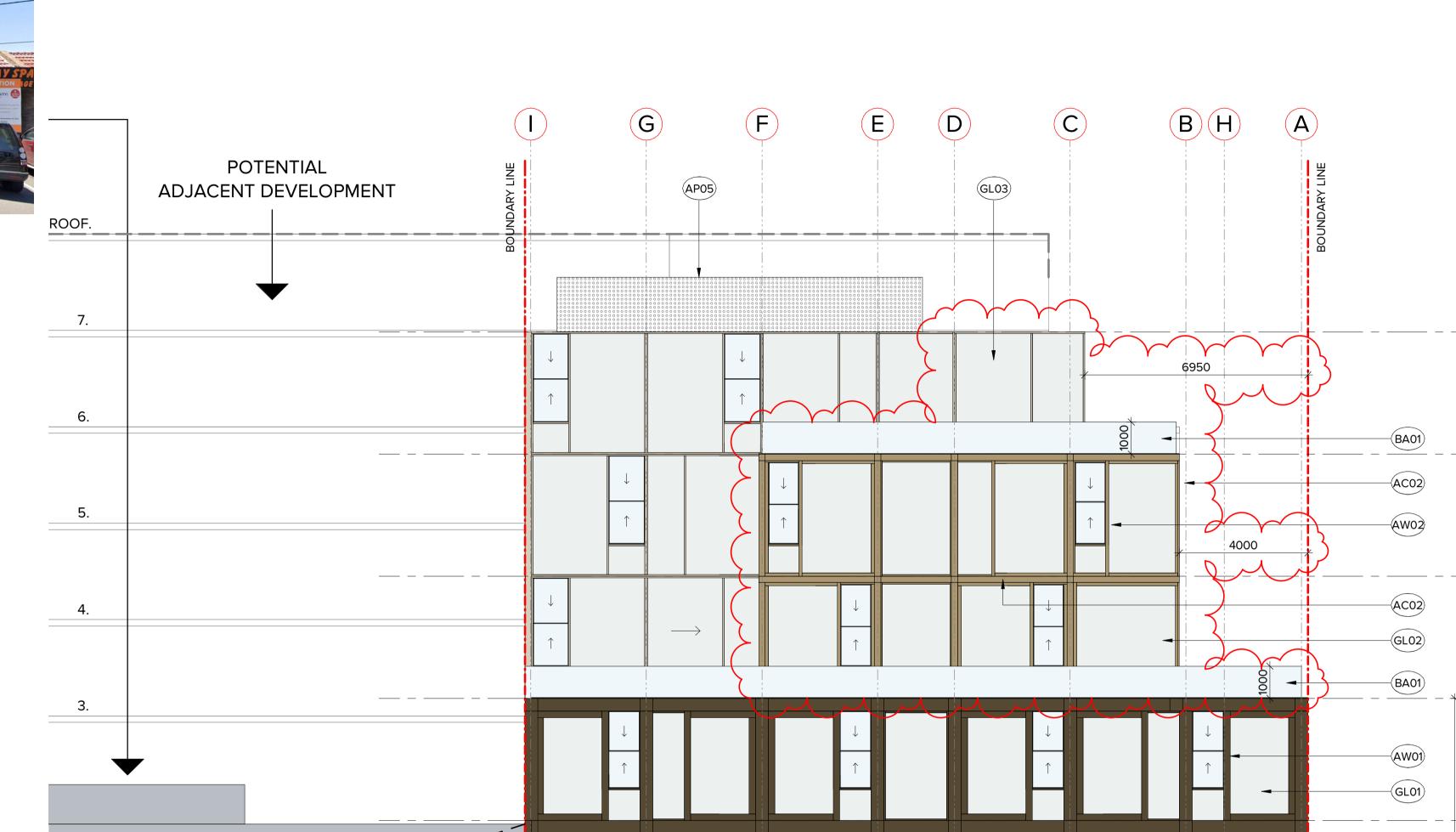
NOMINAL 20mm REBATE TO MASONARY WALL PAINTED TO
MATCH COLOUR AWO1

PROPOSED PROPRIETARY BALUSTRADING SYSTEM. DARK GREY TINTED FRAMELESS GLASS BALUSTRADE TO HEIGHT INDICATED ON ELEVATIONS FIXED TO FLOOR. MINIMAL HANDRAIL SECTION TO TOP GLAZING EDGE.

ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH AW01 'BURNT SIENNA' ANODIZED FINISH.

ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH

AW02 'MEDALLION BRONZE' ANODIZED FINISH.



IT IS ASSUMED THAT THE EXISTING 2-STOREY BUILDING AT 8-10 JOHNSON STREET WOULD REMAIN AS PART OF ANY FUTURE RE-DEVELOPMENT

WEST ELEVATION

JOHNSON STREET

OPENABLE)

GROUND FLOOR RETAIL TENANCY

WINDOWS TO HAVE CAPACITY FOR

SLIDING DOOR PANELS TO SUIT TENANT

REQUIREMENTS (NOT ALL PANELS WILL BE

REV DATE DESCRIPTION REV DATE DESCRIPTION

1 01.06.20 UPDATED SETBACKS

2 16.06.20 LODGEMENT

0 0.5 1.0 2

(AC01)

PROJECT:

12-14 JOHNSON STREET

OAKLEIGH - OFFICE DEVELOPMENT

**DRAWING TITLE:** 

WEST ELEVATION

GL04

(GL05)

—(AC01)

PROPOSED CANOPY TO MILL

REFER PLANS

ROAD AND JOHNSON STREET.

SCALE: 1:100 @ A1 REVISION N°:

DRAWN: JR

DRAWING STATUS: DRAWING N°:

JOB N°:

TP-301

07.07.20

TOWNPLANNING

# BRUCE HENDERSON ARCHITECTS

8-10 JOHNSON STREET

MELBOURNE LONDON HANOI

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## **SOUTH ELEVATION** MILL ROAD

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PROJECT: 12-14 JOHNSON STREET OAKLEIGH - OFFICE DEVELOPMENT

**DRAWING TITLE:** 

**SOUTH ELEVATION** 

SCALE: 1:100 @ A1 DRAWN: JR DRAWING STATUS:

DATE:

07.07.20

TOWNPLANNING

## **EXTERNAL FINISHES LEGEND**

COMMERCIAL ALUMINIUM WINDOW FRAMING SYSTEM -CUSTOM DESIGN IN ANODIZED FINISH AAF - EVERSHIELD COLOUR: BURNT SIENNA E29TM (MATT) OR SIMILAR APPROVED

> COMMERCIAL ALUMINIUM WINDOW FRAMING SYSTEM -CUSTOM DESIGN IN ANODIZED FINISH AAF - EVERSHIELD COLOUR: MEDALLION BRONZE E44TL (ILLUSTRO) OR SIMILAR APPROVED

> COMMERCIAL ALUMINIUM WINDOW FRAMING SYSTEM -CUSTOM DESIGN IN ANODIZED FINISH AAF - EVERSHIELD COLOUR : SEA BREEZE E67TM (MATT) OR SIMILAR **APPROVED**

ALUMINIUM SHEET CLADDING TO MATCH AW02 COLOUR

PERFORATED ALUMINIUM SCREEN TO MATCH AW01

PERFORATED ALUMINIUM SCREEN TO MATCH AW02 COLOUR

PERFORATED ANODIZED ALUMINIUM PLANT SCREEN TO MATCH AW03 COLOUR -'SEA BREEZE'

DARK GREY COLOUR GLASS

MID GREY COLOUR GLASS

SILVER GREY COLOUR GLASS

CLEAR GLASS

FRAMELESS TOUGHENED CLEAR GLASS ENTRY DOORS

PC1 PRECAST CONCRETE / MASONARY WALL COLOUR - LIGHT

NOMINAL 20mm REBATE TO MASONARY WALL PAINTED TO PC1R MATCH COLOUR AW02

NOMINAL 20mm REBATE TO MASONARY WALL PAINTED TO PC2R MATCH COLOUR AWO1

> PROPOSED PROPRIETARY BALUSTRADING SYSTEM. DARK GREY TINTED FRAMELESS GLASS BALUSTRADE TO HEIGHT INDICATED ON ELEVATIONS FIXED TO FLOOR. MINIMAL HANDRAIL SECTION TO TOP GLAZING EDGE.

ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH AW01 'BURNT SIENNA' ANODIZED FINISH.

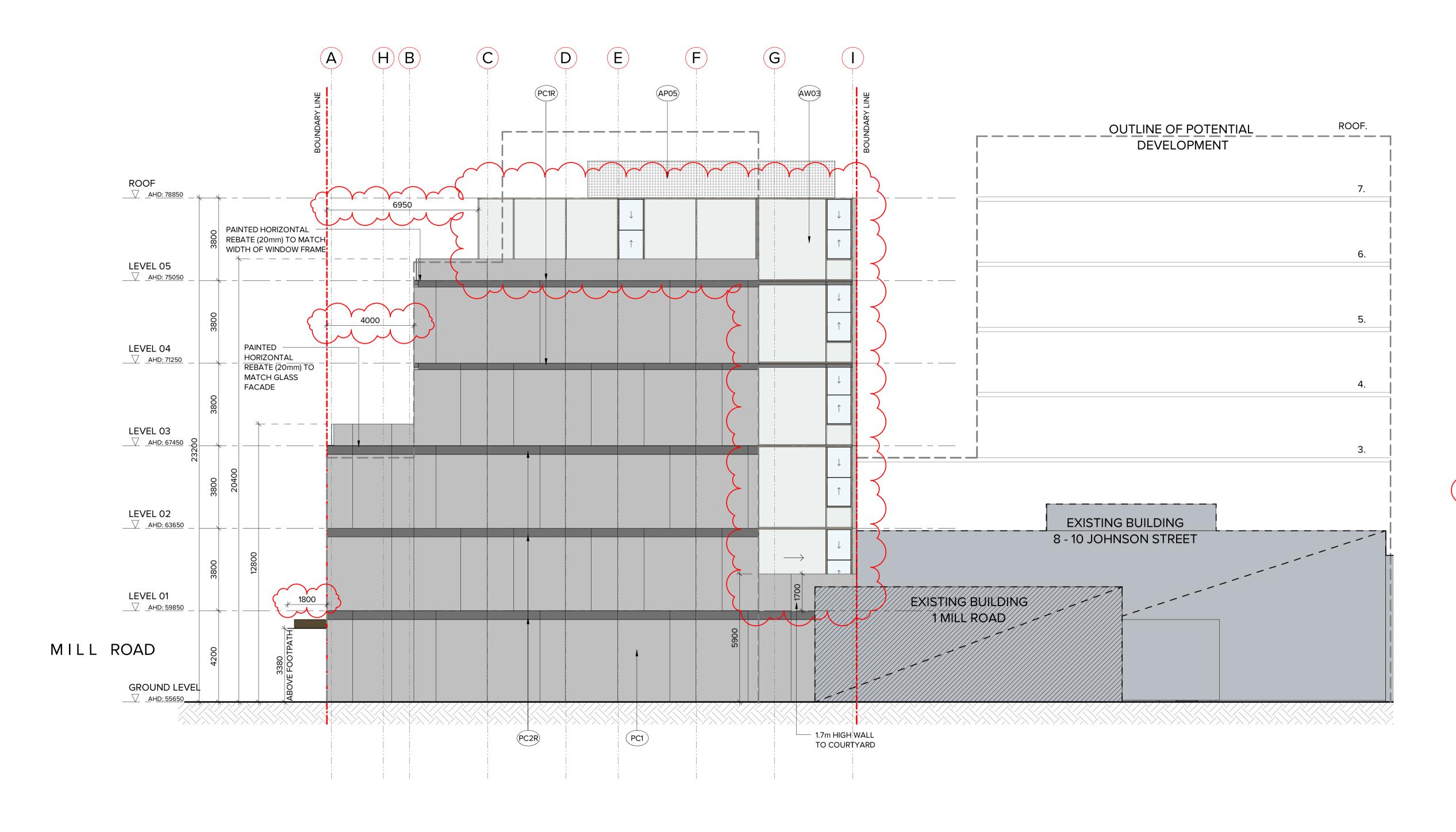
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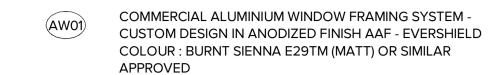
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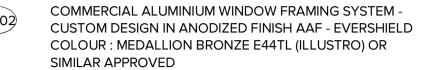
TP-302

ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH AW02 'MEDALLION BRONZE' ANODIZED FINISH.



## **EXTERNAL FINISHES LEGEND**





COMMERCIAL ALUMINIUM WINDOW FRAMING SYSTEM CUSTOM DESIGN IN ANODIZED FINISH AAF - EVERSHIELD
COLOUR: SEA BREEZE E67TM (MATT) OR SIMILAR
APPROVED

APO2 ALUMINIUM SHEET CLADDING TO MATCH AWO2 COLOUR

PERFORATED ALUMINIUM SCREEN TO MATCH AW01

PERFORATED ALUMINIUM SCREEN TO MATCH AW02 COLOUR

PERFORATED ANODIZED ALUMINIUM PLANT SCREEN TO MATCH AW03 COLOUR -'SEA BREEZE'

DARK GREY COLOUR GLASS

GL02 MID GREY COLOUR GLASS

GL03) SILVER GREY COLOUR GLASS

GL04) CLEAR GLASS

FRAMELESS TOUGHENED CLEAR GLASS ENTRY DOORS

PC1 PRECAST CONCRETE / MASONARY WALL COLOUR - LIGHT GREY

NOMINAL 20mm REBATE TO MASONARY WALL PAINTED TO MATCH COLOUR AW02

MATCH COLOUR AWO

NOMINAL 20mm REBATE TO MASONARY WALL PAINTED TO MATCH-COLOUR AW01

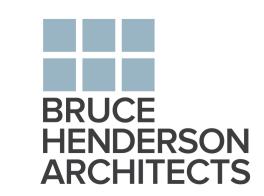
PROPOSED PROPRIETARY BALUSTRADING SYSTEM. DARK

GREY TINTED FRAMELESS GLASS BALUSTRADE TO HEIGHT INDICATED ON ELEVATIONS FIXED TO FLOOR. MINIMAL HANDRAIL SECTION TO TOP GLAZING EDGE.

ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH

AW01 'BURNT SIENNA' ANODIZED FINISH.

ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH AW02 'MEDALLION BRONZE' ANODIZED FINISH.



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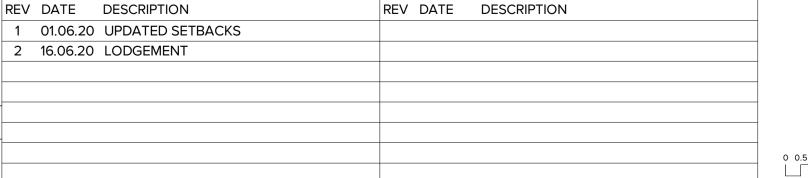
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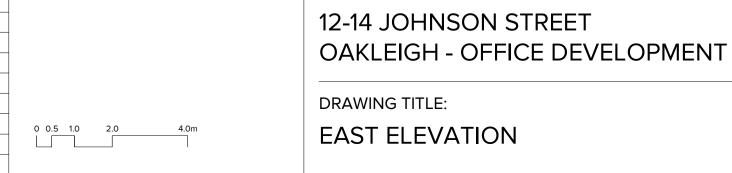
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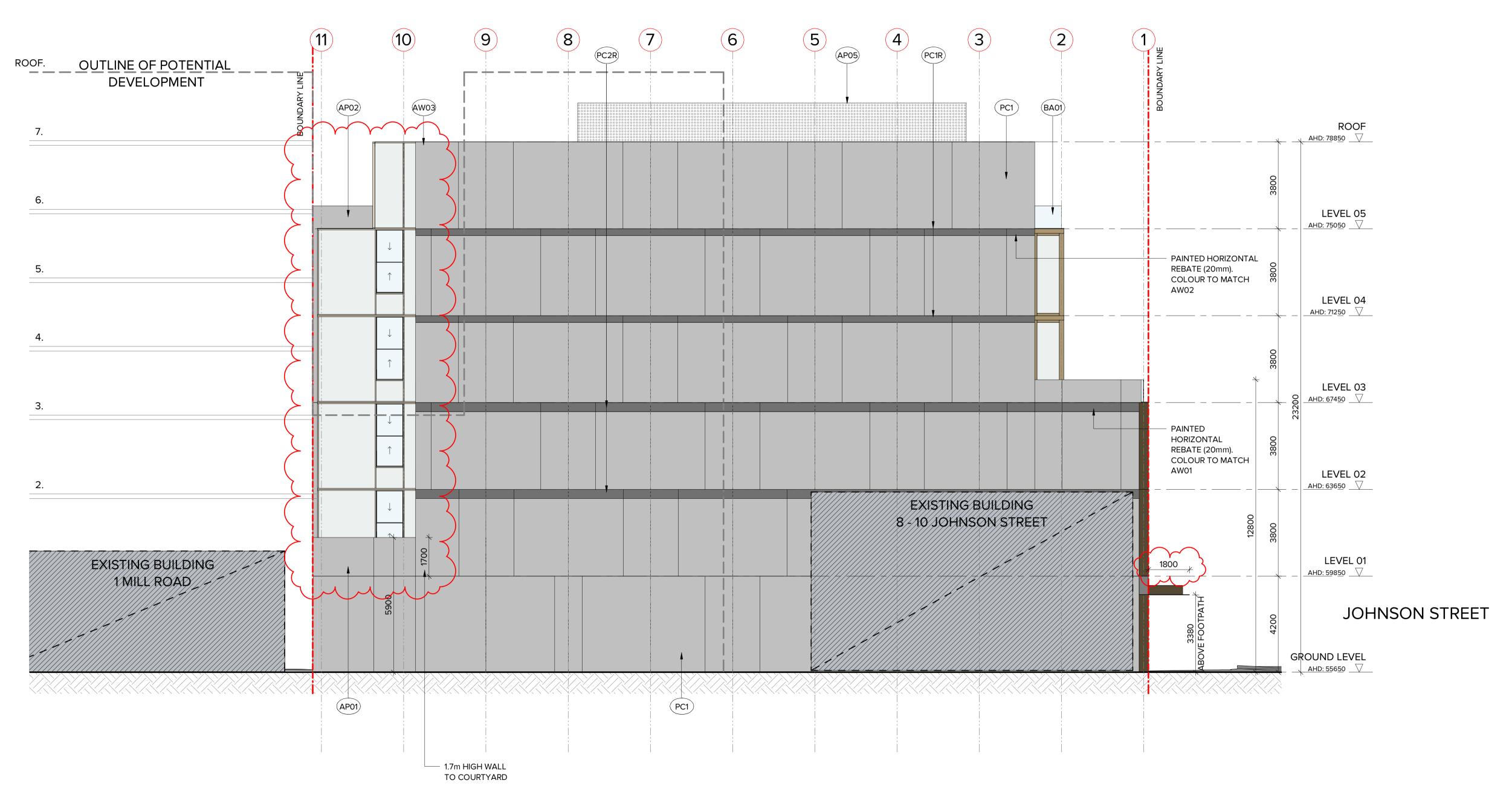
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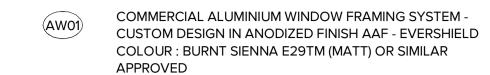


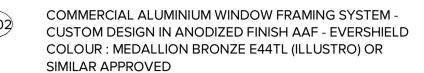
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| TOWNPLANNING |           |            | TP-3         | 303  |



## **EXTERNAL FINISHES LEGEND**





COMMERCIAL ALUMINIUM WINDOW FRAMING SYSTEM -CUSTOM DESIGN IN ANODIZED FINISH AAF - EVERSHIELD COLOUR: SEA BREEZE E67TM (MATT) OR SIMILAR **APPROVED** 

ALUMINIUM SHEET CLADDING TO MATCH AW02 COLOUR

PERFORATED ALUMINIUM SCREEN TO MATCH AW01 COLOUR

PERFORATED ALUMINIUM SCREEN TO MATCH AW02 COLOUR

PERFORATED ANODIZED ALUMINIUM PLANT SCREEN TO MATCH AW03 COLOUR -'SEA BREEZE'

DARK GREY COLOUR GLASS

MID GREY COLOUR GLASS

SILVER GREY COLOUR GLASS

CLEAR GLASS

FRAMELESS TOUGHENED CLEAR GLASS ENTRY DOORS

PC1 PRECAST CONCRETE / MASONARY WALL COLOUR - LIGHT

NOMINAL 20mm REBATE TO MASONARY WALL PAINTED TO MATCH COLOUR AW02

NOMINAL 20mm REBATE TO MASONARY WALL PAINTED TO PC2R MATCH COLOUR AW01

HANDRAIL SECTION TO TOP GLAZING EDGE.

AW01 'BURNT SIENNA' ANODIZED FINISH.

PROPOSED PROPRIETARY BALUSTRADING SYSTEM. DARK GREY TINTED FRAMELESS GLASS BALUSTRADE TO HEIGHT INDICATED ON ELEVATIONS FIXED TO FLOOR. MINIMAL

ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH

ALUMINIUM SHEET CLADDING OR BOX SECTION TO MATCH AW02 'MEDALLION BRONZE' ANODIZED FINISH.

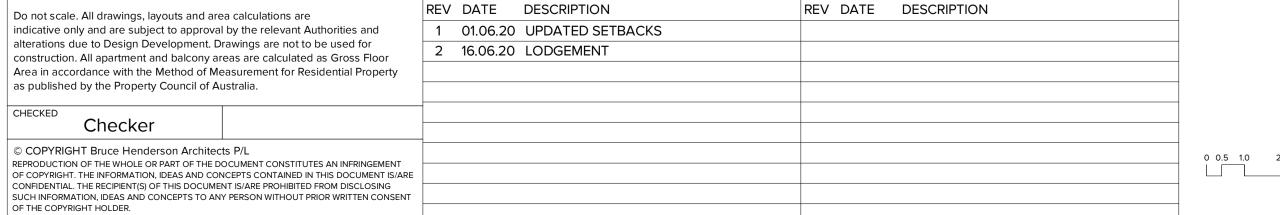


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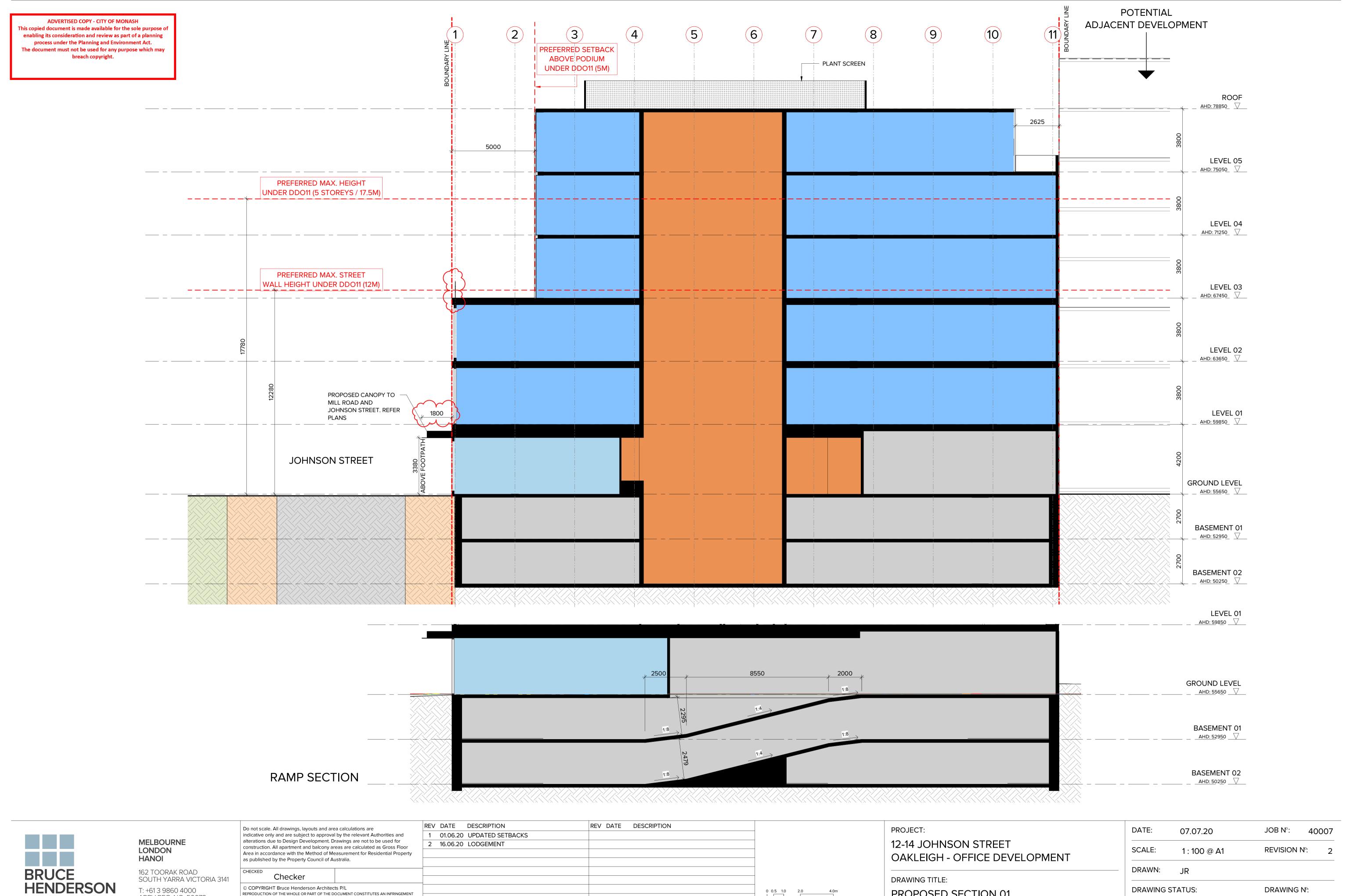
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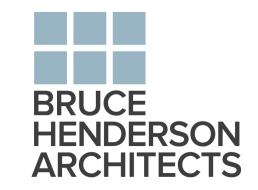
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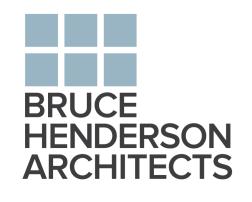
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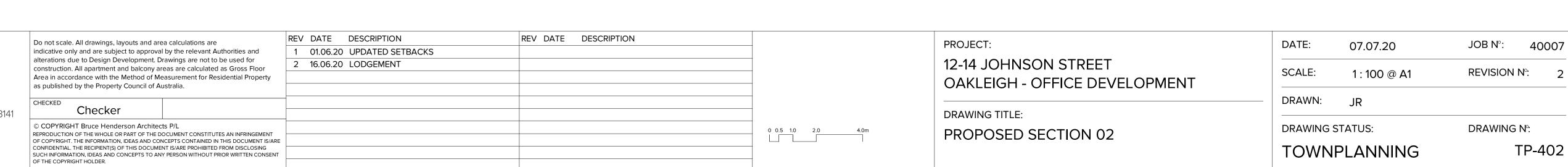
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PROPOSED SECTION 01

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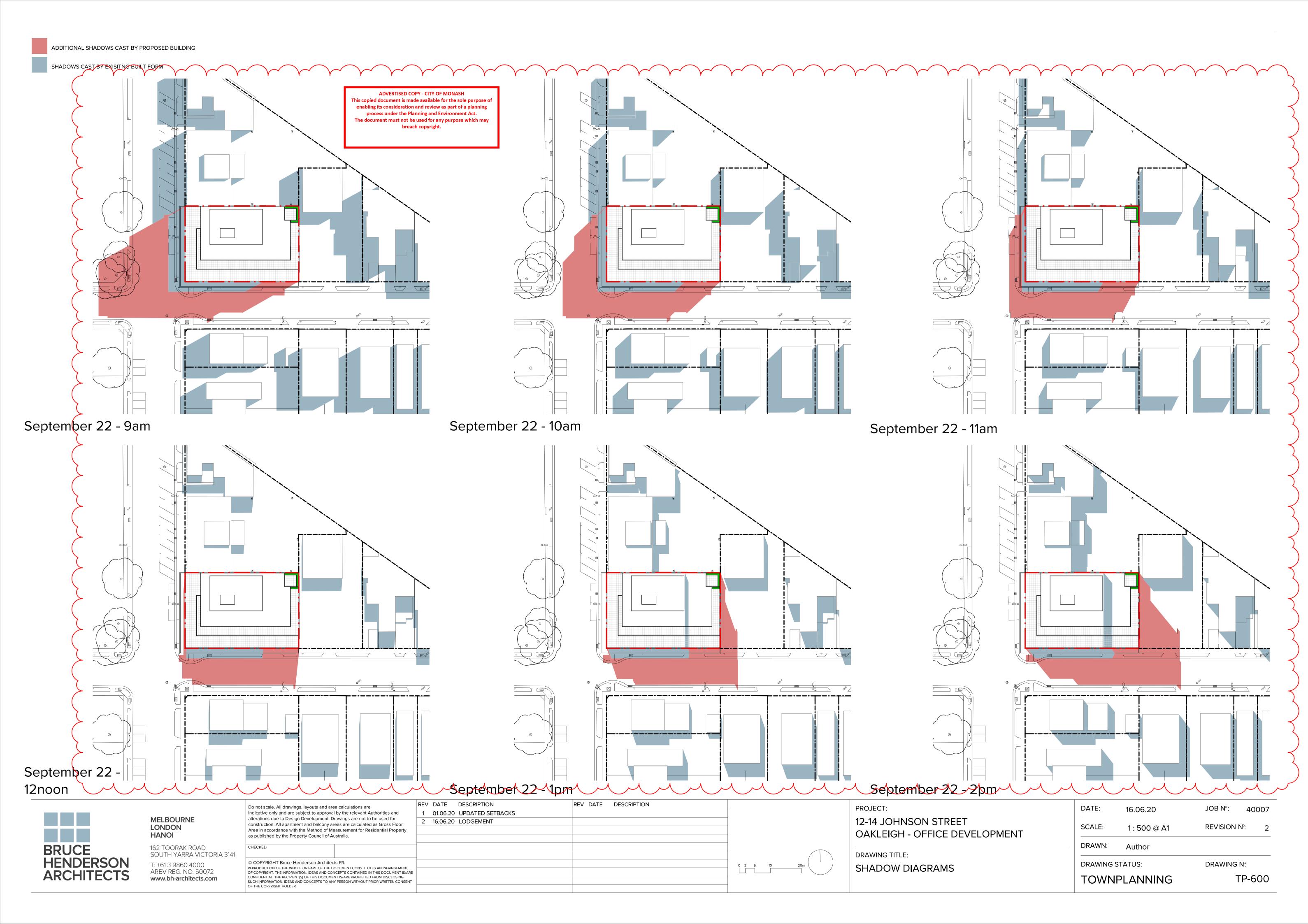


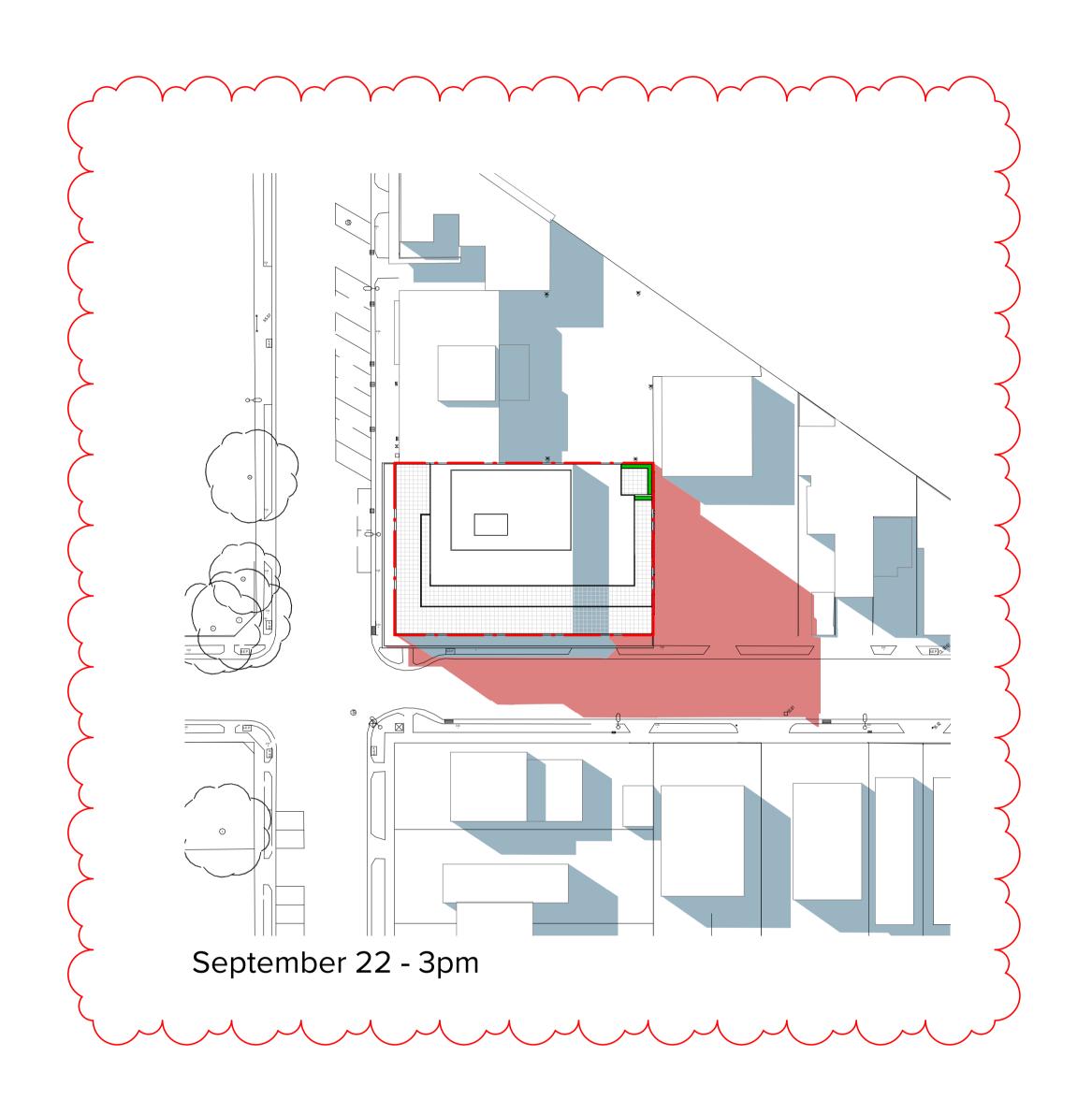
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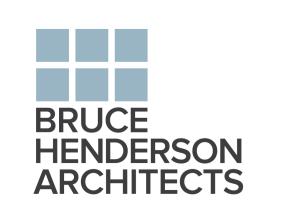


| POTENTIAL G F E D C B H A                       |                                                                                   |
|-------------------------------------------------|-----------------------------------------------------------------------------------|
| ADJACENT DEVELOPMENT                            |                                                                                   |
| PREFERRED SETBACK OF ABOVE PODIUM OF DOOI! (5M) |                                                                                   |
| PLANT SCREEN  ONDER DOTT (5M)                   |                                                                                   |
|                                                 | ROOF<br>                                                                          |
| 6950                                            | 0                                                                                 |
| 5000                                            | ₩ KEVEL 05                                                                        |
|                                                 | PREFERRED MAX. HEIGHT                                                             |
|                                                 | UNDER DDO11 (5 STOREYS / 17.5M)                                                   |
|                                                 | LEVEL 04                                                                          |
|                                                 | Q                                                                                 |
|                                                 | PREFERRED MAX. STREET WALL HEIGHT UNDER DDO11 (12M) LEVEL 03 AHD: 67450           |
|                                                 |                                                                                   |
|                                                 | 3800                                                                              |
|                                                 | LEVEL 02                                                                          |
|                                                 | 08                                                                                |
| 7//// <i>ftxwaftyyafayyy</i>                    | PROPOSED CANOPY TO MILL ROAD AND JOHNSON STREET. REFER PLANS  LEVEL 01 AHD: 59850 |
| 8-10 JOHNSON STREET                             | REFER PLANS  AHD: 59850                                                           |
| 380<br>OOTPAT                                   | MILL ROAD 8                                                                       |
| ABOVE B                                         | GROUND LEVEL  AHD: 55650                                                          |
|                                                 |                                                                                   |
|                                                 | BASEMENT 01  AHD: 52950                                                           |
|                                                 | 2700                                                                              |
|                                                 | BASEMENT 02  AHD: 50250                                                           |
|                                                 |                                                                                   |
|                                                 |                                                                                   |

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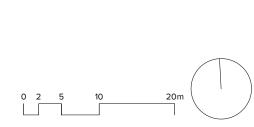
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PROJECT: 12-14 JOHNSON STREET OAKLEIGH - OFFICE DEVELOPMENT

DRAWING TITLE:

SHADOW DIAGRAMS

| DATE:      | 16.06.20   | JOB №:      | 4000  |
|------------|------------|-------------|-------|
| SCALE:     | 1:500 @ A1 | REVISION    | Nº:   |
| <br>DRAWN: | Author     |             |       |
| DRAWING S  | STATUS:    | DRAWING N°: |       |
| TOWN       | PLANNING   |             | TP-60 |
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