



MOUNT WAVERLEY RESERVE MASTER PLAN

STAGE 1: BACKGROUND & NEEDS ASSESSMENT - *DRAFT REPORT*

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CLIENT
Monash Council

PROJECT #
1495

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REVISION
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INTRODUCTION

Monash City Council has initiated the development of a Master Plan for Mount Waverley Reserve. The Master Plan will investigate initiatives to improve key sport and recreation participation opportunities to maximise club and community use. The Master Plan will provide a framework to guide future infrastructure provision and improvement opportunities to address current and projected demands.

Mount Waverley Reserve is situated on City of Monash land and is located at 8-26 Charles Street (corner of St Albans and Charles Streets), Mount Waverley. The site location and context is shown in figure 1.

The reserve is located adjacent to land owned by Melbourne Water Corporation (426-476 High Street Road) which remains in operational use. However, opportunities to improve the interface and functionality with Mount Waverley Reserve will be explored, including Melbourne Water's long-term plans for the site.

Existing Facilities

Mount Waverley Reserve features four (non-compliant) clay tennis courts (Mount Waverley Tennis Club), a public asphalt tennis court, hit-up wall, basketball half court, an oval with turf wicket, cricket nets, a playground and an off-lead dog area. In addition, the reserve is bordered by the Waverley Community Learning Centre (neighbourhood house on Fleet Street) which shares some access and car parking.

Current Formal User Groups

Current formal user groups / tenants of the reserve include:

- Waverley Community Learning Centre (Fleet Street neighbourhood house) and Occasional Care
- Mount Waverley Cricket Club
- Waverley Blues Football (& Netball) Club
- Mount Waverley Tennis Club

Planning Purpose & Objectives

The purpose of the planning process is to investigate initiatives aimed at improving sport, recreation and supporting infrastructure requirements in order to maximise participation opportunities within the Reserve having regard to current and anticipated future community demands as well as Council's strategic policy and planning frameworks.

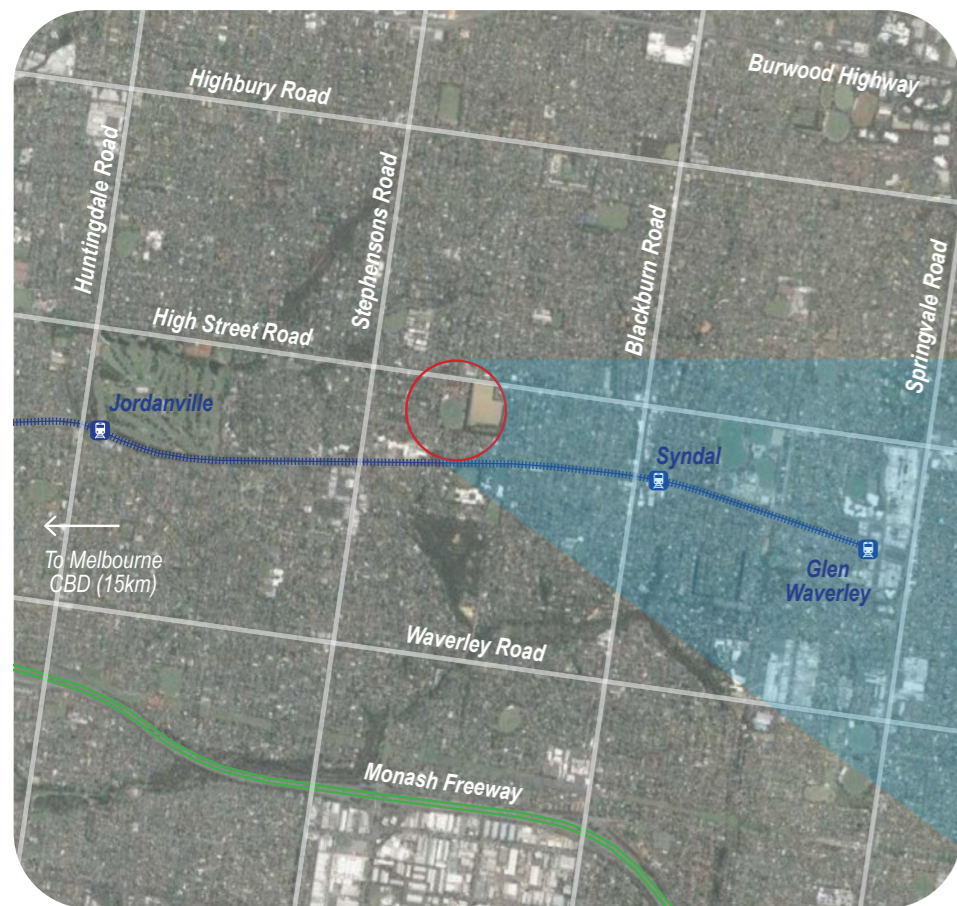


Figure 1
Mount Waverley Reserve context plan



The Master Plan will:

- Deliver a document stating Council's (and key stakeholder) vision and objectives for the provision of sport and recreation facilities and infrastructure at the Reserve,
- Provide a strategic approach for the future provision of sport and recreation facilities in the Reserve and surrounding communities based on stakeholder and community needs,
- Consider opportunities and issues at the reserves to determine the suitability, scale and scope of any proposed/potential future works within the Reserve,
- Provide a conceptual plan and layout for key development priorities with indicative stages and cost estimates to assist in seeking external funding for future improvements to the Reserve.

The planning project will be delivered in five key stages:

- Stage 1: Background & Needs Assessment - information gathering, background research and literature review.
- Stage 2: Integrated Site Plan (ISP) – ISP development, including issues, opportunities and preliminary development options.
- Stage 3: Consultation & Test Development Options and Priorities – community and stakeholder consultation; confirmation of issues, opportunities, options and initial concepts.
- Stage 4: Draft Master Plan – development of a draft master plan including concept designs, QS costs, strategic business cases and implementation staging.
- Stage 5: Final Master Plan - for presentation and adoption by Council (inclusive of master plan development priorities).

Purpose of this report

This report presents the strategic context and critical findings from Stage 1 Background & Needs Assessment.

The report is intended to confirm our starting position and will be used as a consultation tool (primarily internal and with selected external stakeholders) in order to further explore issues and opportunities for the site prior to progressing the planning process (i.e. Stages 2-5).



Current facilities at Mount Waverley Reserve include the oval and pavilion (top), the tennis courts and clubrooms (centre) and the Waverley Community Learning Centre (bottom).

Guiding Principles

There are a number of important Council planning documents and policy framework that will influence development of the master plan. Key influences and documents are outlined in the following sections of this report, however overarching planning principles that have been adopted by Council through the Municipal Open Space Strategy and Playground Strategy are presented below.

These principles, along with the Integrated Site Plan (ISP) results and community consultation input, will be used to guide potential improvement opportunities for the reserve.

Planning Principles:

- Equitable access - ensure an appropriate level of open space is available for all residents regardless of where they live, their age, gender, income, ethnicity, education or ability.
- Diversity of opportunities and experiences to ensure all residents can use and benefit from open space.
- Quantity – the provision of open space across Monash will continue to be increased to ensure an appropriate level is available for all residents.
- Quality (fit for purpose) – ensuring that the function of an open space meets the requirements for that function.
- Sustainability – in design, development and management of open space.

- Dependency – some people, activities and assets are dependent on the inherent natural qualities of open space reserves. And as a priority, open space should support activities and users who are more dependent upon it.
- Environmental protection, enhancement and appreciation including the protection of canopy trees, habitat, flora and fauna and waterways.

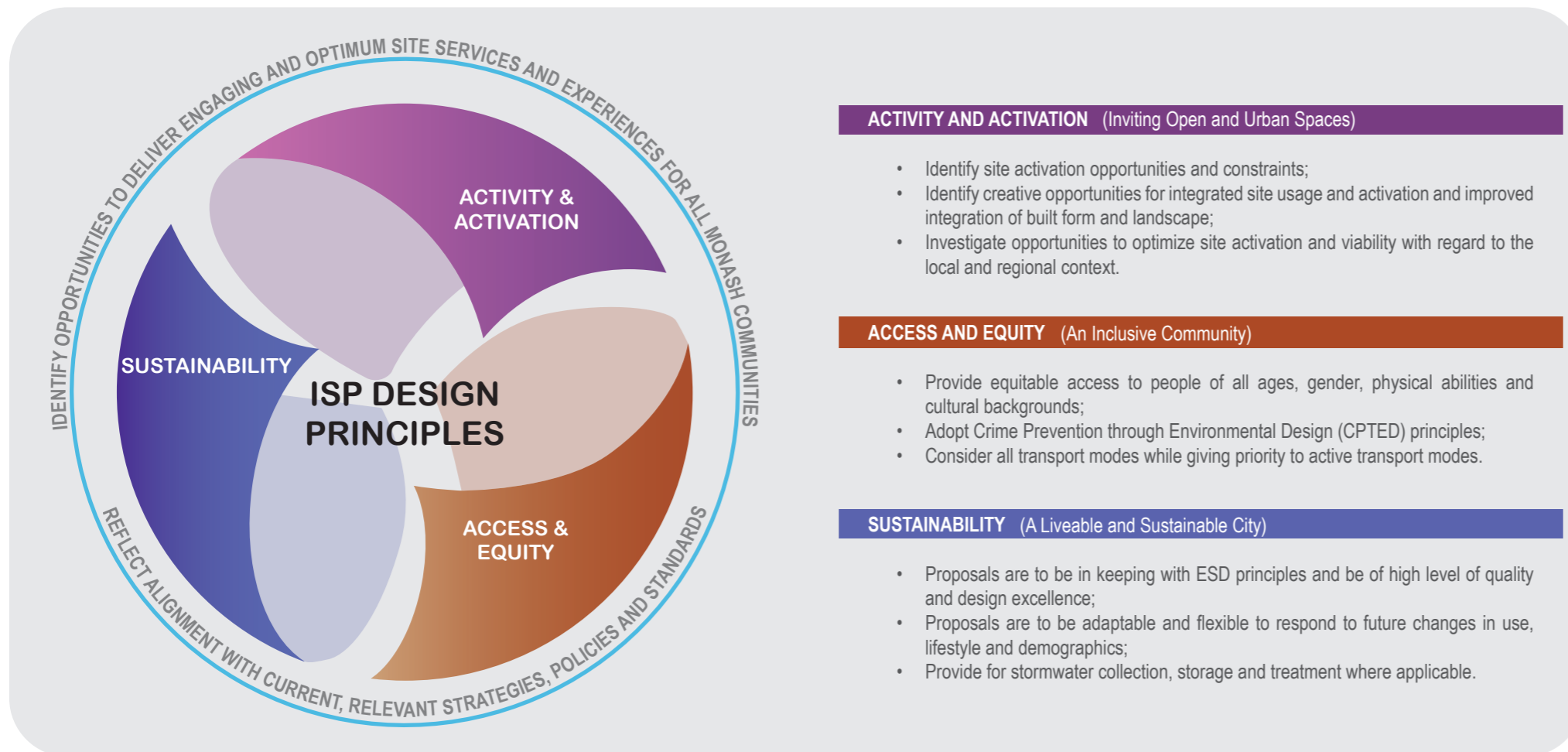
Stage 2 - Integrated Site Plan (ISP):

Stage 2 of the project will complement the Background & Needs Assessment (i.e. Stage 1) by providing an agnostic, dynamic spatial assessment of a site that:

- Provides site context/background and key facts about the reserve.
- Undertakes a spatial and technical analysis of the site, detailing key assumptions, to identify opportunities and identify/understand possible site constraints.
- Articulates the rationale behind decision making using a holistic lens.
- Tells the story and makes the case for any proposals and/or recommendations made as a result of the analysis.

The ISP design principles are outlined below.

Council's Horticulture and Sustainability Teams have also developed a number of principles for consideration in the development of ISP documents. These are included as an Appendix to this report and will be used to help inform development of the subsequent ISP for Mount Waverley Reserve.



ACTIVITY AND ACTIVATION (Inviting Open and Urban Spaces)

- Identify site activation opportunities and constraints;
- Identify creative opportunities for integrated site usage and activation and improved integration of built form and landscape;
- Investigate opportunities to optimize site activation and viability with regard to the local and regional context.

ACCESS AND EQUITY (An Inclusive Community)

- Provide equitable access to people of all ages, gender, physical abilities and cultural backgrounds;
- Adopt Crime Prevention through Environmental Design (CPTED) principles;
- Consider all transport modes while giving priority to active transport modes.

SUSTAINABILITY (A Liveable and Sustainable City)

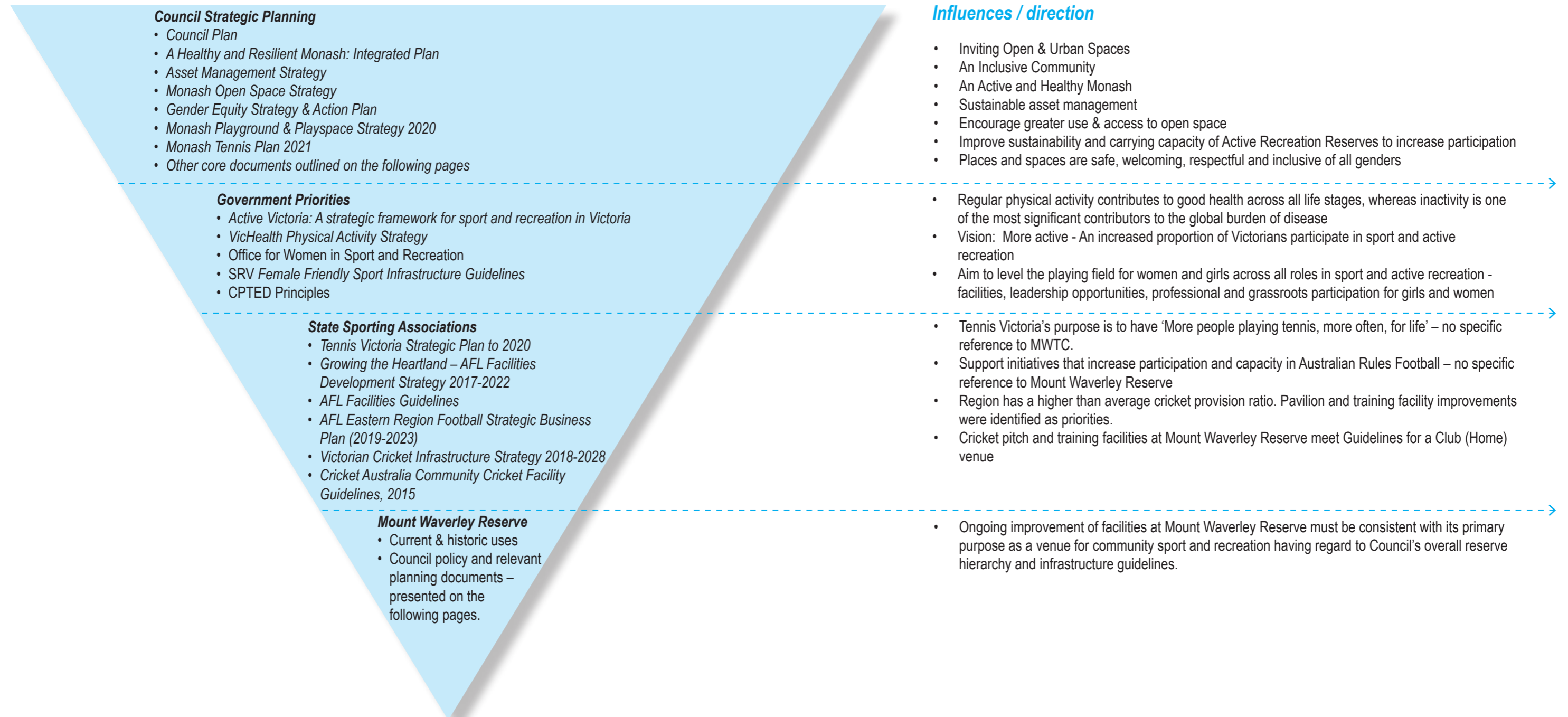
- Proposals are to be in keeping with ESD principles and be of high level of quality and design excellence;
- Proposals are to be adaptable and flexible to respond to future changes in use, lifestyle and demographics;
- Provide for stormwater collection, storage and treatment where applicable.



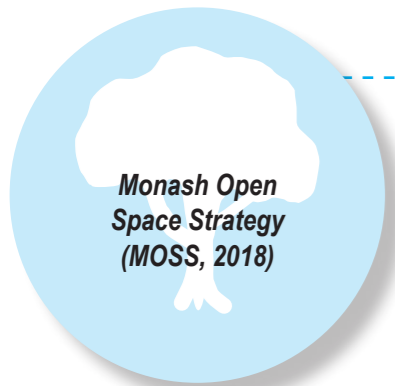
STRATEGIC ALIGNMENT

The following section highlights the strategic alignment of this project – and future improvement of the Mount Waverley Reserve – with relevant Council planning documents, broader Government priorities and relevant State Sporting Association objectives, in particular initiatives that support improved community health, well-being, physical activity and sports participation with an emphasis on proactive measures to support traditionally disadvantaged groups, specifically women and girls.

The image below (pyramid) illustrates a strategic relationship or nexus to support ongoing improvements at Mount Waverley Reserve to service community sport and recreation needs. However, further analysis of Council’s planning framework highlights several important influences on possible future directions and infrastructure provision. Key influences are summarised over the following pages.



ARTIST'S IMPRESSION ONLY. THESE IMAGES ARE INTENDED AS A GUIDE ONLY AND ARE NOT TO BE USED FOR TENDERING OR CONSTRUCTION PURPOSES.



Influences / direction

- Public Open Space (PPRZ) is highly valued by the community.
- There are 6 sporting fields within Mount Waverley precinct – Mayfield Park, Mount Waverley Reserve, Tally Ho Reserve, Mount Waverley Bowling Club, Essex Heights Reserve and Pinewood Reserve.
- Gaps in sports provision exist within the precinct in each of the north, centre and southern areas.
- Mount Waverley Reserve is classified as district catchment sports open space reserve (primary function) with social/family recreation (secondary function).

Implications for Master Plan

- Land zoned PPRZ is not to be sold and should be retained for community use.
- Design guidelines – District sports open space:
 - Open space reserve that can preferably provide for two senior playing fields AFL /cricket/netball, or three field sports such as soccer, or 4-6 tennis courts.
 - Provide support facilities, training facilities and car parking either on-site and/or on the perimeter of the reserve.
 - Code compliant sports lights (training standard for field sports), irrigation, and drainage.
 - Sports pavilions suitable for senior level competition and may cater for multiple seasonal use. Facilities to include multi-gender change room, amenities, basic kitchen/kiosk and separate provision of social space. The Open Space Strategy recommends an indicative pavilion size of 500m² for District standard facilities (i.e. Mount Waverley Reserve) and 600m² for Regional standard venues. NB: The existing pavilion is approximately 546m². By comparison, AFL Guidelines for Local standard venues recommend an indicative pavilion size of 590m².
 - Provide access to playing fields, practice facilities or courts by the community for non-club use.
 - Provide space for a park perimeter trail that is accessible via the local path network.
 - Seating, shade and mature trees to be provided.
 - Fencing avoided in some instances to increase flexibility of the site (where no conflicts with sporting requirements).
 - Co-location with other community facilities encouraged with public access to toilets considered.
 - Provide high quality design and landscaping that enhances spectator enjoyment and viewing opportunities.
 - Incorporate universal and environmentally sustainable design principles.





Influences / direction

- The Active Reserves Facility Hierarchy creates five distinct facility provision categories:
 - Class A – Regional/Municipal Facilities
 - Class B – District Facilities
 - Class C – Local Facilities
 - Class D - Other
 - School – School Facilities
- In order to provide an integrated and coordinated service for sports ground and pavilion provision a classification system of four grading levels (Class A, B, C, D and school) has been developed to guide the level of sport facility provision and playing surface standards across the municipality.
- Class A facilities provide regional/multi-purpose pavilions to accommodate regional level competition such as premier cricket (Central Reserve).
- Currently there is no regional level AFL football played in Monash.
- These facilities are able to accommodate a number of users and can address the shortfalls in available community meeting space. Multi-purpose spaces are designed to accommodate seasonal users and public hiring.
- Class B facilities are the most commonly provided standard for sports grounds and generally cater to consistent demand by tenant clubs on a seasonal basis. They may also be used occasionally for subregional events. Class B facilities primarily cater for higher level senior sports e.g. sub-district cricket (generally on turf wickets), Division 1 or A-B grade (AFL), National Premier League Division 1 (soccer).
- Originally adopted by Council in February 2018, the policy has been reviewed in March 2021 to reflect updated pavilion sizes, standards and costs.
- Mount Waverley Reserve remains a Class A standard Pavilion servicing a Class B standard sports ground (i.e. single oval venue).
- The classifications provide a transparent framework for the provision of pavilion upgrades. The average footprint and cost for pavilion redevelopments proposed under the hierarchy (p. 6) is detailed below:

Table: Indicative Size and Budget Guide for Pavilions Redevelopments

Classification	A *	B *	C *
Indicative footprint incl. spectator shelter (Est. social space approx. 20% of footprint)	600 m ² (120 m ²)	500 m ² (100 m ²)	350 m ² (60 m ²)
Est. Cost @ \$4,500 per m ²	\$2,700,000	\$2,250,000	\$1,575,000
Design, Project Management & Contingency Costs (+25%)	\$675,000	\$562,500	\$393,750
Sub-Total	\$3,375,000	\$2,812,500	\$1,968,750
Adjust annually for CPI 2%	\$67,500	\$56,250	\$39,375
Total Estimated Cost (2019/20)	\$3,442,500	\$2,868,750	\$2,008,125
Adjust annually for CPI 2%	\$68,850	\$57,375	\$40,162
Total Estimated Cost (2020/21)	\$3,511,350	\$2,926,125	\$2,048,287

Implications for Master Plan

- Mount Waverley Reserve is categorized as a District venue (NB: The Pavilion is currently classified as a Class A facility, primarily due to the existing size (e.g. large social space), whereas the ground is classified as a Class B sportsground).
- As a minimum, facility and infrastructure provision should reflect design guidelines for Class B standard facilities consistent with the grading and use of Mount Waverley Reserve.
- The existing main pavilion exceeds Class B standards, however modification may be required to improve mixed gender use (i.e. female friendly) and change rooms.

Other relevant infrastructure guidelines / considerations for District venues:

- Sports lighting - training standard sports lighting to oval – match standard lighting can be considered if funded by club/s.
- Cricket practice nets - 0-2 turf practice wickets in nets (space permitting and dependent on level of cricket played). Maximum 3 cricket nets with synthetic base. Council's *Cricket Wicket Policy* (draft 2021) also confirms the following minimum and maximum provision guidelines for Mount Waverley Reserve (i.e. sub-District Cricket standard): 3 synthetic nets and 6 turf strips.
- Sports oval - Full size oval (preferred 165m x 135m); Minimum (150m x 110m). Full drainage and irrigation.
- Off street carparking – 50 spaces minimum.

Important Notes:

- These are indicative maximum sizes and costs for Class A, B & C Pavilions that are female friendly and service a single sports ground. They are a guide only and budget estimates will need to be adjusted annually by CPI.
- Pavilion footprints and estimated costs will vary according to:
 - multi-use potential to cater for broader community access;
 - existing site limitations and latent conditions e.g. landfill and leachate sites;
 - the code and level of sport being played;
 - the size and number of sports ground/s and number of clubs at the reserve; and
 - the range and cost of ESD elements incorporated into the design.



**Monash Tennis Plan
(May 2021)**

Influences / direction

- There are 16 tennis clubs in Monash that operate under a lease arrangement with Council.
- The Tennis Plan identifies inequitable distribution of clubs/courts in the north east of the municipality.
- However, the suburbs of Glen Waverley, Mount Waverley and Wheelers Hill have the highest supply of tennis facilities in Monash, with 77% of courts at club venues in Monash being located in these 3 suburbs alone (1 court for every 1,579 people). This exceeds the Tennis Australia benchmark of one court for every 2,000 people.
- Further to this, there are another 67 courts in the Glen Waverley, Mount Waverley and Wheelers Hill catchment, which are not located on Council land. This includes privately owned club, schools and church tennis clubs.
- Tennis club participation has declined in Monash by 3.9% since 2010.
- The Tennis Plan recommended a minimum of six compliant courts are required to support club sustainability.
- The Tennis Plan recommends that Council engage with clubs located in Mount Waverley and Glen Waverley to explore potential relocation and merger opportunities – in order to achieve a consolidation of facilities and more sustainable club structure.
- Investment in the existing courts at Mount Waverley Reserve is not considered a priority.

Implications for Master Plan

- Council to actively explore relocation options for the Mount Waverley Tennis Club to another reserve.
- Identify potential impacts of accommodating six new courts at Mount Waverley Reserve having regard to overall spatial capacity, functionality and amenity impacts.
- Consider Master Plan options without club tennis at the reserve.



**Mt Waverley Reserve -
2MH Tennis Facility &
Condition Audit 2018**

Influences / direction

- There are currently four club courts at Mount Waverley Reserve. The courts are non-compliant in terms of size/enclosure areas do not meet current standards for run-off and circulation.
- Existing infrastructure such as steps and light towers sit in the run off zone, exacerbating the problem.
- The location of the existing courts limits potential for expansion to address compliance or to provide additional courts (i.e. to achieve a sustainable model of 6-courts as recommended in the Tennis Plan, above).

Implications for Master Plan

- Council to actively explore relocation options for the Mount Waverley Tennis Club to another reserve.
- Identify potential impacts of accommodating six new courts at Mount Waverley Reserve having regard to overall spatial capacity, functionality and amenity impacts.
- Consider Master Plan options without club tennis at the reserve.



**Playground &
Playspace Strategy
2020**

Influences / direction

- Mount Waverley Reserve playground is classified as a Local play space.
- The Strategy suggests renewal will be required in 2023/24.
- Mount Waverley (Ward) has the second highest level of play space provision in the City (i.e. 1 play space to every 1,428 people).

Implications for Master Plan

- Master Plan to support ongoing provision of a Local standard play space (i.e. 5-8 pieces of equipment) at Mount Waverley Reserve.





**Monash Urban
Landscape & Canopy
Vegetation Strategy, 2018**

Influences / direction

- Landscape character assessment has been undertaken across the City of Monash to help protect areas of 'Garden City' suburban character, as well as areas of remnant native vegetation.
- The strategy categorises the municipality into 9 landscape character types, with the Mount Waverley Reserve being in the 'Creek valley environs' category.
- The strategy identifies 5 preferred vegetation types including identifying recommended species. Mount Waverley Reserve is assessed as being in the 'Evergreen' category.
- The strategy sets a goal of increasing the canopy tree cover across public and private land from 22% (in 2015) to 30% by 2040.

Implications for Master Plan

- New planting proposed should reflect the 'Creek Valley Environs' landscape character type, and the 'Evergreen' preferred vegetation type.
- Consider increasing canopy cover at reserve to help meet the strategy goals.



**Monash Public Toilet
Strategy Action Plan
(draft 2021)**

Influences / direction

- Mount Waverley Reserve has been considered as a low priority location for new public toilet provision in draft PTS action plan.
- Three potential actions for future public toilet provision are being considered for the site.
 - Option 1 - Open existing standalone patron only toilet to public with additional security and maintenance cost.
 - Option 2 - Refurbish existing standalone toilet to unisex accessible and/or ambulant public toilet.
 - Option 3 - New standalone automated unisex public toilet at the same location of existing toilet block.
- Considering there is already an existing patron only standalone toilet on-site with reasonable connectivity to and surveillance from its surroundings, the short term option (Option 1) is considered likely.

Implications for Master Plan

- The Master Plan will explore options for the most appropriate location for public toilet provision – including retaining the existing site/facility or elsewhere within the reserve.
- Opportunities to consolidate overall built form within the reserve will be a key consideration



**Active Monash
Cricket Wicket Policy
(draft 2021)
& Turf Wicket Review
Report
(June 2020)**

Influences / direction

- The Policy outlines the guidelines and responsibilities for cricket wicket usage, preparation, maintenance and provision throughout the City of Monash.
- The Policy outlines proposed fees based on a 15% cost recovery basis for turf tables and practice wickets as well as a 15% levy on each senior team as a contribution to outfield maintenance costs.
- On this basis Mount Waverley CC fees would increase by approximately \$560p.a. compared to previous years, reaching a total of just under \$9,500 for the season.
- All turf wicket facilities to be maintained by Council or appropriate Council appointed contractor.
- Field size: A minimum of 50 metres must be achieved for all boundary lengths before a senior T20 match is considered in Monash.
- Cricket nets will be provided at all cricket venues that are the main ground for that tenant. Practice facilities at these venues will have a minimum of 3 cricket net lanes.
- Council will fully fund practice net facility (re)development at venues that are the main training ground for clubs who participate in Premier and Sub-district cricket competitions. Nets are to be available for community use.
- Turf Wicket Review confirms Mount Waverley Reserve centre wicket has 6 turf pitches, 8 turf practice pitches and 3 synthetic practice pitches. This exceeds the draft policy recommendations (6 turf centre wickets and 6 turf practice strips and 3 synthetic practice wickets for sub district cricket). The review identified the following recommendations:
 - Vigorous renovation of Mount Waverley Reserve main turf table due to marginally high thatch levels.
 - Tree works (e.g. root pruning) are required at Mount Waverley Reserve training due to shade & moisture stress issues from nearby trees.

Implications for Master Plan

- Review playing field dimensions and consider options to ensure a minimum cricket field size of 50m to all boundaries (to allow T20 matches).
- Policy framework supports a minimum of 3 synthetic cricket net practice lanes and retention of a turf practice facility to allow at least two live/playable pitches for training at any one time. Council's Cricket Wicket Policy (2020) also confirms the following minimum and maximum provision guidelines for Mount Waverley Reserve (i.e. sub-District Cricket standard): 3 synthetic nets and 6 turf strips
- Note recommendation for de-thatching the main table.
- Address tree issues at existing practice nets – including possible relocation and enclosure to improve safety.



**Monash Sports
Floodlighting Policy
(2021)**

Influences / direction

- The Policy outlines the responsibilities of tenant sporting clubs and Monash Council for the installation, maintenance and usage of floodlights on sportsgrounds and active playing surfaces in Monash.
- The policy seeks to introduce a fair, equitable and transparent system to manage sportsground and active playing surface floodlighting across Monash and recognises the difference between clubs with lease and licences.
- The Mount Waverley Cricket Club and Waverley Blues Football Netball Club currently operate under an annual License / Seasonal Allocation from Council as opposed to a formal Lease.
- For licensed clubs, no club contribution is required toward the cost of installation of floodlighting up to minimum lighting levels required for training. However, tenant clubs will be responsible for 100% of the cost (excluding Council supervision and project management charges) to install lighting above minimum lighting levels for training (i.e. above 100 Lux). In the event that a power upgrade is required to upgrade lighting facilities to minimum standards, Council will fully fund the costs associated with this work.
- Monash Council will oversee and manage the maintenance of all floodlighting on behalf of all licensed clubs reserves including poles, switchboards, control gears, wiring, switching mechanisms, fittings, truck appointments and the replacement of lamps.

Implications for Master Plan

- Council will be responsible for all capital costs associated with sports floodlighting improvements to Training standard (i.e. 100Lux). Any improvements beyond training standard would need to be funded by tenant Clubs.

**City of Monash
Asset Condition
Assessment (2017)**

Influences / direction

Facility condition audit assessments were undertaken as part of Council's Asset Management Planning for the Main Pavilion and Tennis Pavilion. Key findings are summarised below (refer to appendices for more detail).

- **Main Pavilion (Cricket/Football):**
 - Constructed 1963, extended 1982, 2005 and refurbished 2017.
 - Replacement cost \$1.2mil. Building area 368m².
 - Average condition rating = 2.1 (1= Excellent, 5 = Very Poor).
 - Useful Life Remaining – 17% of the building requires renewal over the next 10 years and a further 27% over the next 25 years (i.e. 44% combined). However, the structural envelope will last more than 35 years (i.e. 54%).
- **Tennis Pavilion / Clubroom:**
 - Constructed 1967. Replacement cost \$350k. Building area 130m².
 - Average condition rating = 2.8 (1= Excellent, 5 = Very Poor).
 - Useful Life Remaining – 37% of the building requires renewal over the next 10 years and a further 68% over the next 25 years.

Implications for Master Plan

- The tennis pavilion has a limited useful asset life remaining. The Master Plan will explore options for replacement and/or consolidation as part of a shared use facility (if tennis remains on site).
- The main pavilion is structurally sound and has recently been refurbished, however it does not meet contemporary standards and expectations (i.e. number of change rooms and female facilities).
- The master plan to consider demand assessment results, current Council policy framework and stakeholder aspirations to determine future options for the main pavilion.



Influences / direction

The following section provides a summary of key observations and/or actions noted in the audit report. These issues will be addressed in recommended improvement works in the Master Plan.

Reserve Classification: District

Primary Function: Sport

Tennis Hit-Up Wall:

- Hit-up wall pad is 8x12m, cracking needs some repair wall is intact.
- Basketball Court:
- Condition rating: Ring and Backboard = moderate; Court surface = Good
- Pad is 7.1 x 8.2m; pole on a strong lean [backwards].
- Base of pole is rusting. Screws & nuts securing backboard to frame are rusted. Ring coating is worn, missing chain/net. Backboard is intact but pieces are peeling off the front and the bottom edge is starting to break up [early signs]
- Action: Pole skewed and on a lean backwards- assess for stability, and rectify.

Asphalt Tennis Court:

- Nets in poor condition. Net poles in poor condition.
- Action: Net itself is intact albeit the ties need fixing. Posts are intact but coating worn, bases and hardware are rusting and one is on a pronounced lean. Surface itself has cracking through the majority, weeds growing in cracks, disintegrated lines, and the surface slant is pronounced.
- Tree roots from next property have encroached into runoff [needs to be addressed, would also be a good idea to have the trees assessed for stability, there is significant overhang and they're growing on a lean into the court]. Surface type is suitable for this type of use but currently it needs resurfacing and replacement poles.

Cricket Practice Nets:

- Suspected pitch base issues / failure.
- Uneven bowling crease / drop-offs.
- Leaf litter debris.
- Compacted pile, dirty, splitting seams and level changes (possible tree root damage).
- Subsidence along edges.
- Worn areas on pitch surface.
- Fix broken roof join in 3 net. schedule carpets for resurfacing and rectify the base.

Other Comments:

- Rubbish bins are only available at pavilion and one St Albans St entry/exit.
- One bench seat at playground only. Playground equipment is tired.
- Mixture of perimeter fencing, a different one on each frontage.
- Travel through the reserve is mostly across grass but could also park on Charles St directly adjacent the playground or on St Albans St for the nets. Parking onsite provides direct access to the (recreation) tennis court and basketball court.
- There is good visibility of/for the playground and a reasonable amount for the cricket nets, although some of the trees cut do with cutting back.
- Tennis court has good line of sight to the community centre, oval /pavilion.
- The basketball court and hit up wall have line of sight from the oval but are obscured from the community centre direction.

Implications for Master Plan

- The Master Plan will consider opportunities for improvements to the Tennis Hit Up Wall, Basketball Court, Asphalt Tennis Court, Cricket Nets and supporting park infrastructure.



POPULATION & DEMOGRAPHIC CHARACTERISTICS

The following information has been sourced from <https://forecast.id.com.au/monash> & <https://profile.id.com.au/monash>.

Overview

The City of Monash is a culturally diverse community in Melbourne's south-east suburbs. Monash is home to an Estimated Resident Population of 202,847 people (2019) making it one of the most populous municipalities in Victoria and is forecast to grow to 249,287 by 2041.

Monash City includes the following suburbs: Ashwood, Clayton, Glen Waverley, Hughesdale, Huntingdale, Mount Waverley, Mulgrave, Notting Hill, Oakleigh, Oakleigh East, and Wheelers Hill as well as parts of Chadstone, Burwood and Oakleigh South.

Monash is home to the main campus of Monash University, Australia's largest university in terms of student numbers, and the Australian Government's premier research organisation, CSIRO. It is also home to the only Australian Synchrotron and the Melbourne Centre for Nanofabrication.

According to 2016 Census data, the City of Monash had a lower proportion of pre-schoolers and a higher proportion of persons at post retirement age than Greater Melbourne.

Analysis of the service age groups of the City of Monash compared to Greater Melbourne shows that there was a lower proportion of people in the younger age groups (0 to 17 years) and a higher proportion of people in the older age groups (60+ years).

Overall, 19.1% of the population was aged between 0 and 17, and 21.9% were aged 60 years and over, compared with 21.7% and 19.0% respectively for Greater Melbourne.

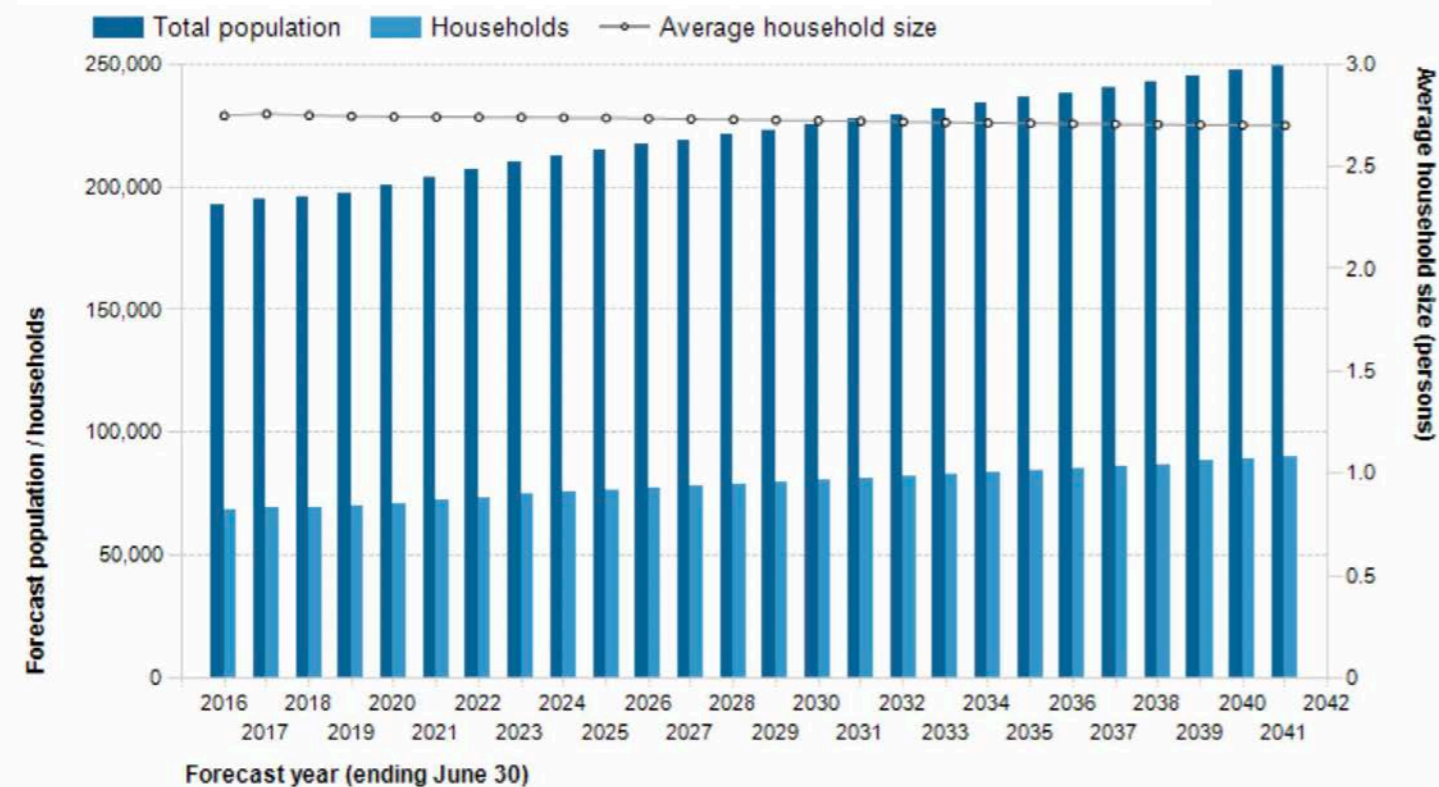
Between 2016 and 2031, the age structure forecasts for the City of Monash indicate a 12.7% increase in population under working age, a 14.0% increase in population of retirement age, and a 19.9% increase in population of working age.

In 2016, the dominant age structure for persons in the City of Monash was ages 20 to 24, which accounted for 10.0% of the total persons.

The largest increase in persons between 2016 and 2031 is forecast to be in ages 15 to 19, which is expected to increase by 4,076 and account for 7.6% of the total persons.

The largest 5 year age group in 2031 is 20 to 24 years, with a total of 22,265 persons.

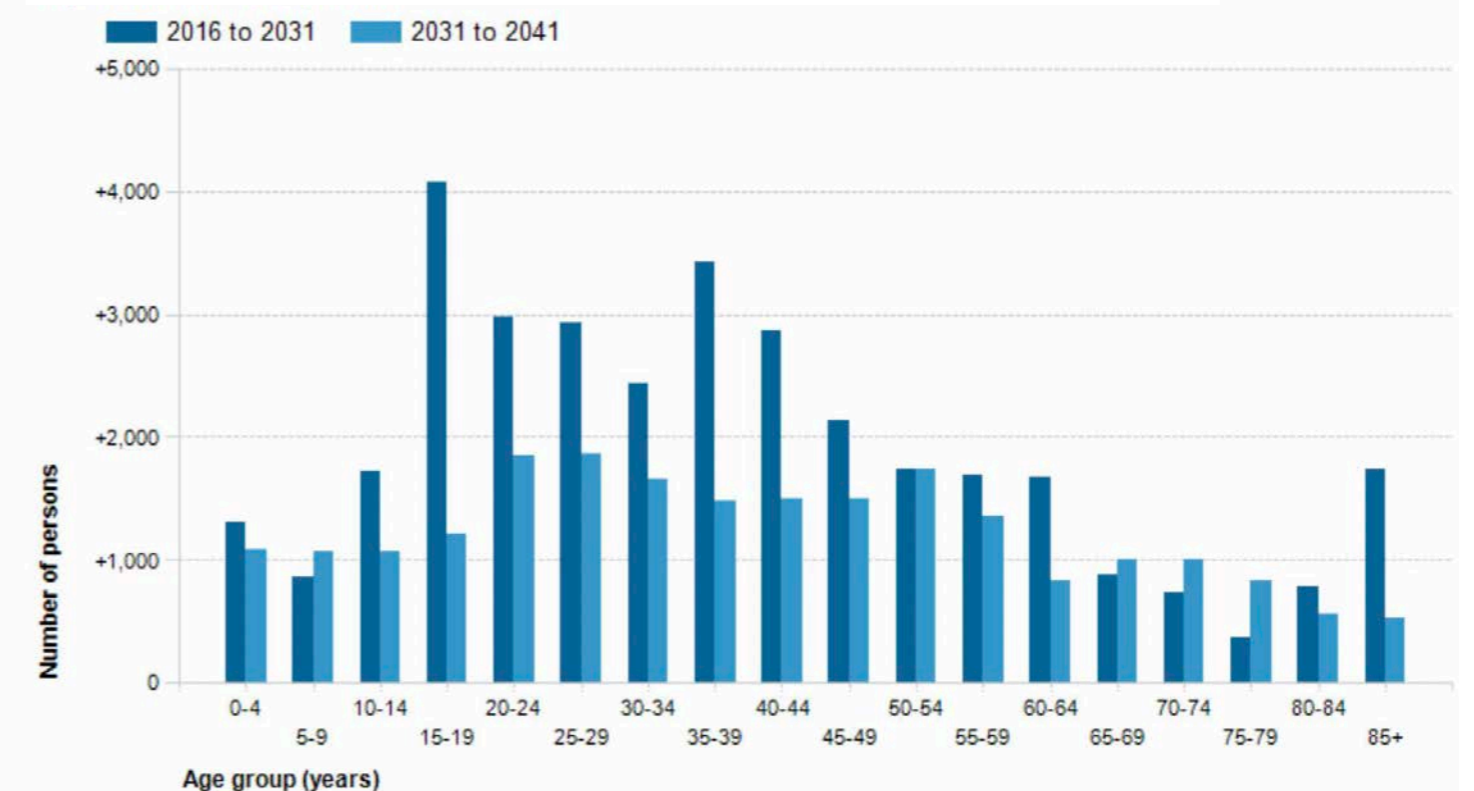
Figure 2
Forecast population, households and average household size (City of Monash)



Population and household forecasts, 2016 to 2041, prepared by .id the population experts, February 2019.



Figure 3
Forecast change in age structure - 5 year age groups (City of Monash)



Population and household forecasts, 2016 to 2041, prepared by .id the population experts, February 2019.



Mount Waverley

The current population of Mount Waverley is approximately 36,045 people and is forecast to grow to 40,827 by 2041.

Analysis of the service age groups of Mount Waverley in 2016 compared to City of Monash shows that there was a higher proportion of people in the younger age groups (0 to 17 years) as well as a higher proportion of people in the older age groups (60+ years).

Overall, 20.7% of the population was aged between 0 and 17, and 24.2% were aged 60 years and over, compared with 19.1% and 21.9% respectively for City of Monash. The major differences between the age structure of Mount Waverley and City of Monash were:

- A larger percentage of 'Seniors' (11.6% compared to 9.9%)
- A larger percentage of 'Older workers & pre-retirees' (12.8% compared to 11.3%)
- A smaller percentage of 'Tertiary education & independence' (10.1% compared to 13.3%)
- A smaller percentage of 'Young workforce' (12.0% compared to 14.9%)

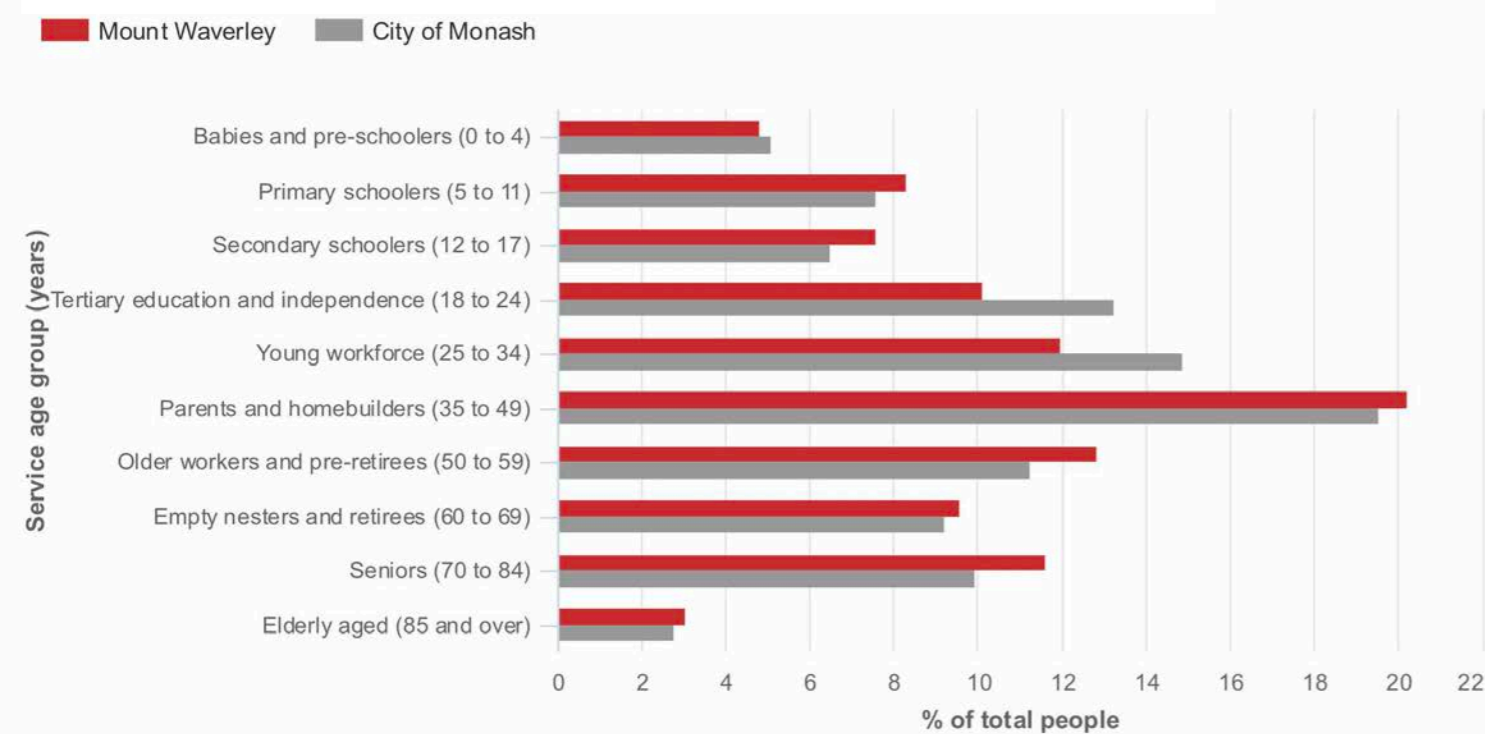
Planning Implications

The following planning implications can be derived from the population and demographic profile of the community:

- Sustained population growth will increase demand for access to appropriate sport and active recreation participation opportunities, including in Mount Waverley.
- The relatively 'young' age profile of the Monash community (i.e. high proportion of 15-19 & 20-24 year age groups), including a high proportion of females, will contribute to demand for access to sport and recreation participation opportunities as these age groups traditionally have high rates of participation in formal sports.
- Within the immediate catchment (i.e. Mount Waverley) the higher proportion of people aged under 17 years compared to the City as a whole will influence demand for access to junior sport participation opportunities. Conversely, the higher proportion of adults aged over 60 years will influence demand for informal recreation participation opportunities.
- Whilst demand for participation in traditional formal sports can be expected to experience growth associated with population increases, demand for informal, non-club based leisure opportunities can also be expected to increase associated with the physical activity participation preferences of an ageing community (e.g. including walking and social gathering).

- In Victoria, female participation rates in sport and active recreation remain lower than males, particularly in community sport and recreation club settings. Appropriate sport facilities and supporting infrastructure are a key factor in encouraging female involvement.
- The relatively high proportion of females in younger age groups (i.e. 15-24 years) and 65+ years will drive demand for access to appropriate female friendly infrastructure and participation environments.

Figure 4
Age structure - service age groups, 2016



Source: Australian Bureau of Statistics, Census of Population and Housing, 2016 (Usual residence data). Compiled and presented in profile.id by .id, the population experts.



CURRENT USE & PARTICIPATION

Primary User groups

Current formal user groups / tenants of the reserve include:

Mount Waverley Cricket Club

- Established in 1906.
- Reportedly one of the largest clubs in Melbourne:
 - 320 active players in 2019/2020 season (aged 5-50+ years).
 - Approximately 200 engaged families and over 500+ past players and supporters.
 - 45 senior men.
 - 190 junior boys.
 - 20 junior girls.
 - 30 veteran men.
- Teams:
 - 19 junior teams.
 - 5 representative junior teams.
 - 2 junior girls teams.
 - 4 senior (men's) teams – playing the VSDCA, the second highest turf competition in Victoria.
 - 2 veterans teams.
 - Cricket Blast (junior development) 30+ participants.
- Currently play across six grounds – Mount Waverley Reserve is the club home ground.

Waverley Blues Football (& Netball) Club

- Originally established as the Glen Waverley Football Club in 1961. Changed their name to Waverley to better reflect their representation of the region and adopted the nickname Panthers in 1963.
- Participate in the Eastern Football League and Netball EFL. Netball is conducted at the Waverley Women's Sports Centre (i.e. Waverley Netball Centre).
- 400+ players and 1200+ community supporters.
 - Approx. 90 senior men players.
 - Approx. 275 junior boys.
 - Approx. 50 junior girls.
 - Approx. 30 senior women.
 - Approx. 15 senior Netball women.
- Teams:
 - 3 x senior men.
 - 1 x senior women (new and growing).
 - 10 x junior boys (growing)
 - 1 x junior girls (growing)
 - 1 x senior netball (growing).
- The existing sports pavilion reportedly does not meet the club needs in relation to adequate number of change rooms, toilet facilities, umpire amenities and female friendly design.
- The playing field is also an irregular shape and dimensions do not match guidelines for a senior oval.

Mount Waverley Tennis Club

- Established on site since 1925.
- Club has a relationship with a professional tennis coach to utilise the courts and provide specialist coaching to members and the public (since 2017).
- Participation (based on 2019/2020 season):
 - 136 members.
 - 66 students in coaching.
 - 6 junior teams.
 - 2 senior teams.
 - 1 Vic Pennant team.
- Member profile (2019/2020 season):
 - 56 male juniors.
 - 24 female juniors.
 - 20 male senior/adult.
 - 22 female senior/adult.
 - 8 male non-playing members.
 - 6 female non-playing members.
 - Ages 6-91 years.
 - 50% live in Mt Waverley, approx. 75% live in the City of Monash.
- Current courts do not meet contemporary size regulations/ requirements (particularly safety run-off and circulation space). The club would ideally like 8 new courts with lighting (6 x En-tous-cas and 2 x hard courts. One hard court could potentially be multi-use and under-cover – refer to Figure 6).



Participation Changes

According to Council records as reported in annual ground allocations:

- Waverley Blues Football (& Netball) Club participation has remained relatively stable, i.e. 14 teams in 2014 season and 13 teams in 2019.
- Mt Waverley Cricket Club participation has increased from 21 teams in the 2013/14 season to 27 teams in 2019/20 season. The 2017/18 season saw a peak of 32 teams registered with the club.

Support venues

- Waverley Blues also use Pinewood Reserve for club training and matches.
- Mt Waverley Cricket Club also use Pinewood Reserve, Fregon Reserve, Mount View Primary School, Jordan Reserve and Carlson Reserve – primarily for matches rather than training.

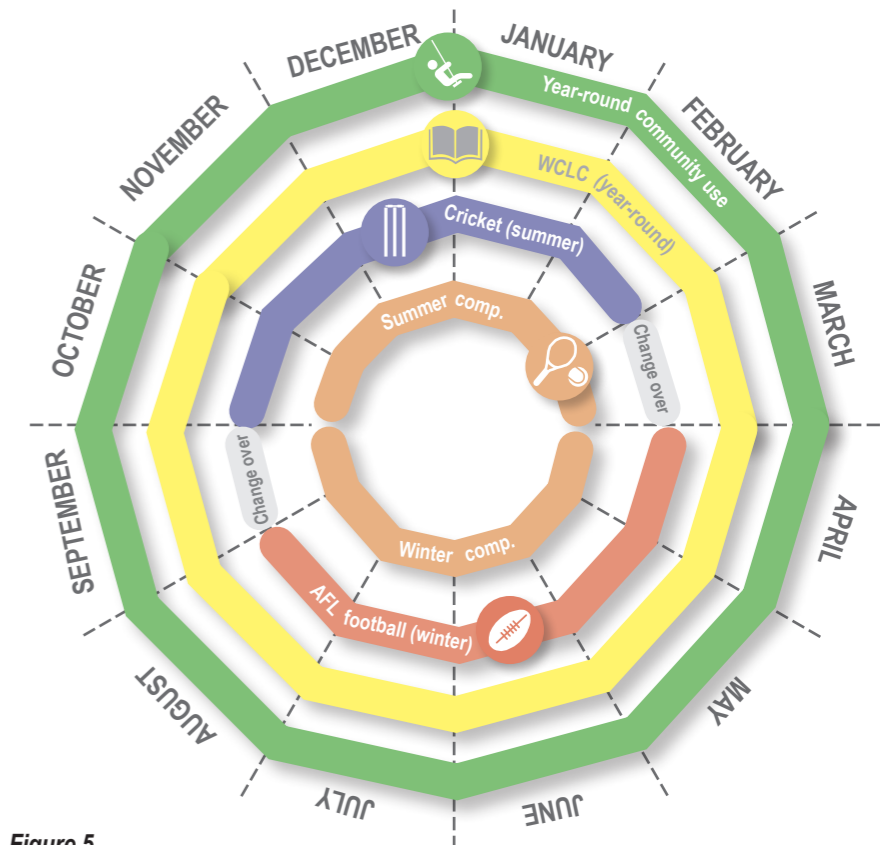


Figure 5
Current site usage diagrams

Figure 6
Current schedule of regular sporting activities at Mount Waverley Reserve

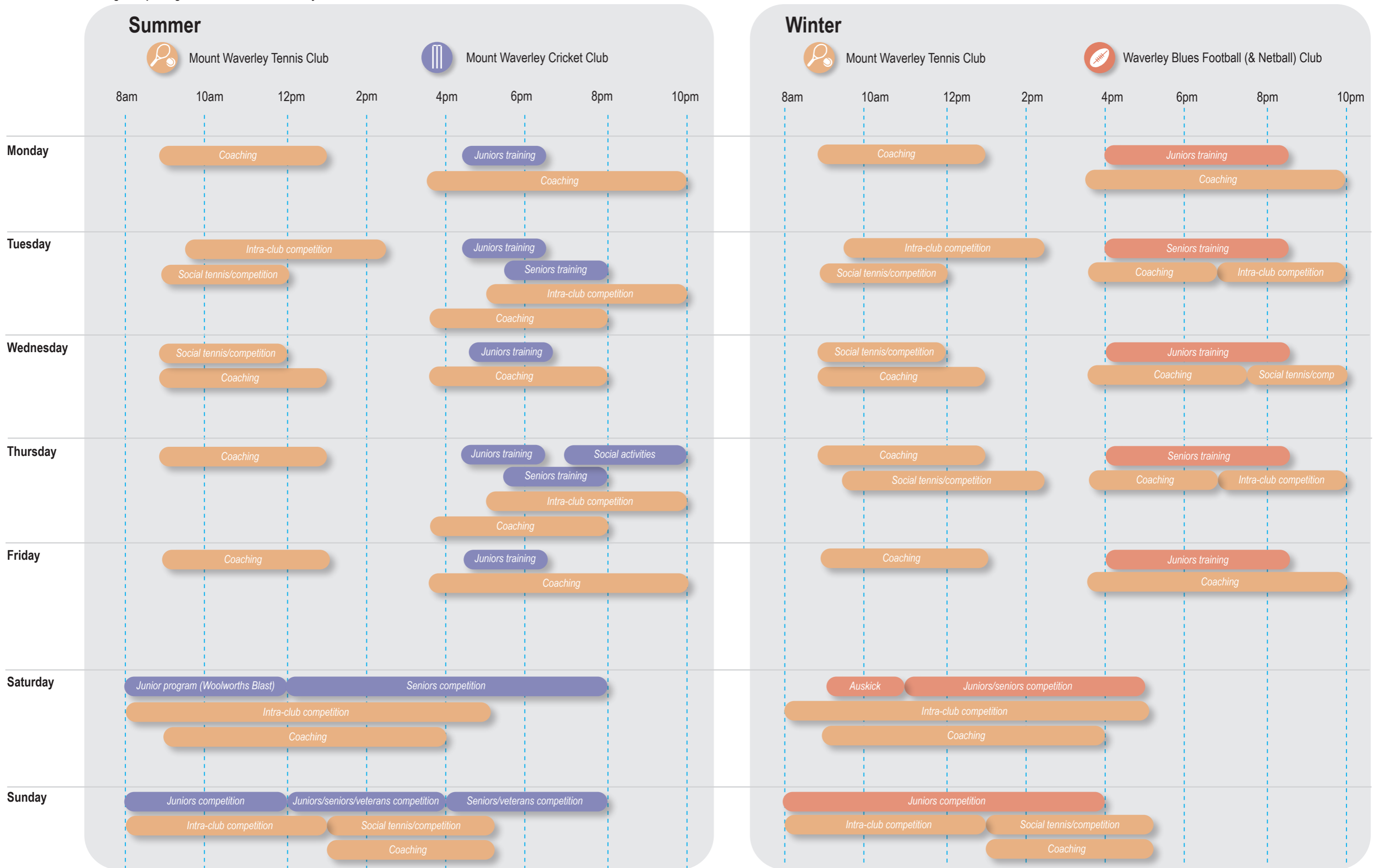
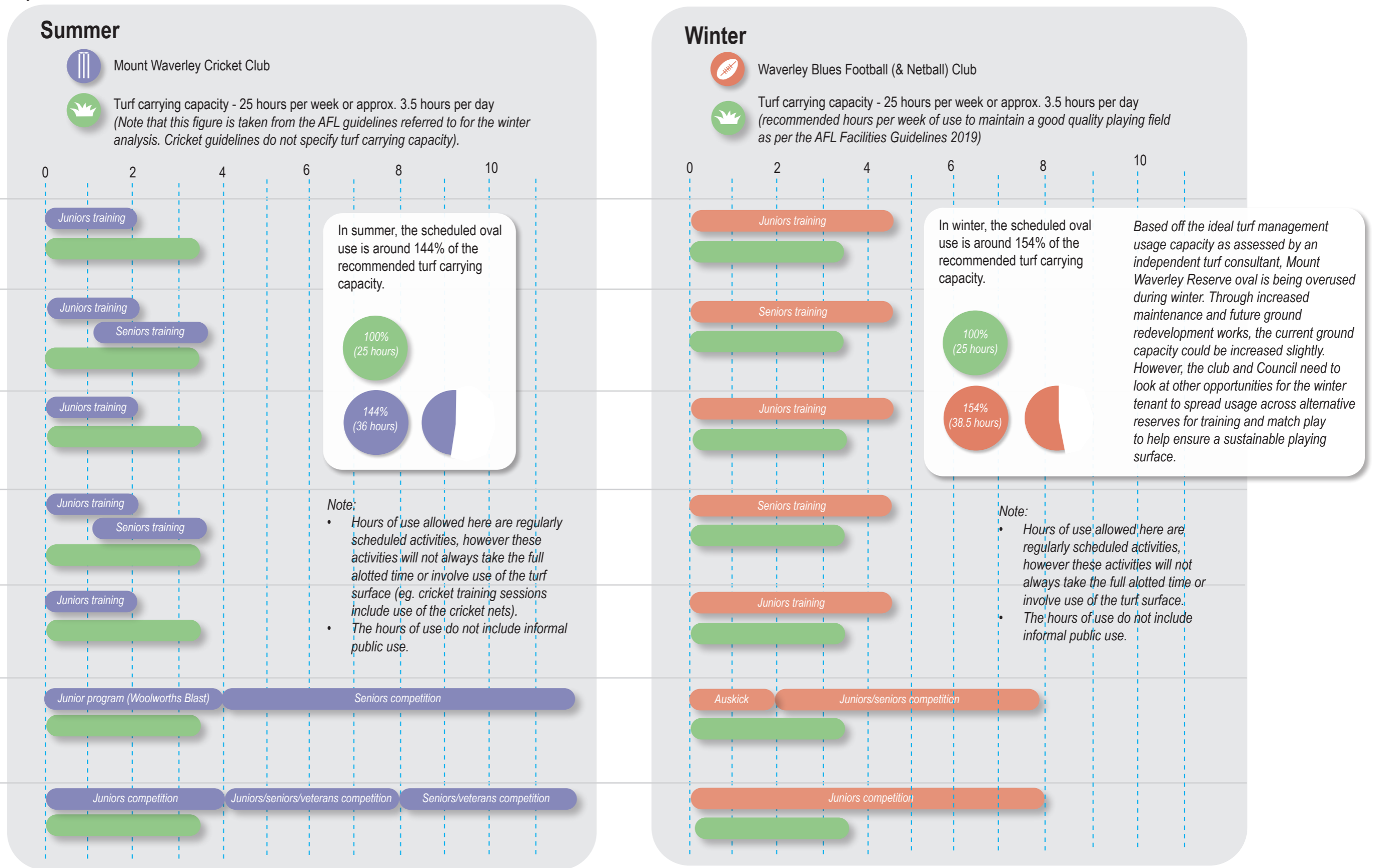


Figure 7
Oval turf carrying capacity analysis



Cricket Australia facility guidelines indicate that a Premier/Regional venue should have an 8-10 wicket turf table (Mount Waverley Reserve has 8, so fits within these guidelines). A recent audit conducted by an independent turf expert also found that the number of wicket turf tables at Mount Waverley Reserve was adequate.

**Waverley Community Learning Centre
(Fleet Street neighbourhood house) and Occasional Care**

- Established in 1973.
- The Waverley Community Learning Centre offers an extensive range of courses, events, health, fitness and craft programs as well as a vital meeting place for a variety of social groups (including older adults).
- The Centre offers accessible activities that reduce social isolation, improve well-being, and add value to the community.
- Administered by a Committee of Governance of residents, the Centre is committed to the development needs of the local community and providing friendly and supportive services for all.
- Pre COVID-19, the Centre attracted over 1,000 visits per week, with the majority of classes and activities offered between 9am-3.30pm weekdays.
- More recently the Centre has offered after school programs between 4pm-5.30pm weekdays and a limited range of evening classes from 7-9pm weekdays.
- Weekend use is limited to casual hirers, activity workshops and occasional events.
- Usage periods do not tend to conflict with sporting uses of the reserve.
- The Centre occasionally rents other venues off-site (e.g. Uniting Church Hall) to help cater for usage demands (e.g. meeting rooms, program spaces, multi-purpose rooms).
- The Centre attracts users from all ages (children to older adults), as well as people with disabilities, special needs and 'at risk' individuals. Patron safety and security are critical considerations (i.e. working with children and special needs requirements).
- Two major community events are conducted each year attracting over 500+ people i.e. Harmony Day and Christmas Market. Events are scheduled on Friday twilight periods to minimize potential conflicts with sporting uses of the reserve.
- The reserve/Centre is also used by other groups (e.g. Probus) as a collection point for day trips and outings (i.e. Bus pick up, drop off and patron parking).
- Occasional Care is operated by a Parent Cooperative generally operating between 9am-3.30pm weekdays.

Informal recreation

In addition to formal sporting use of facilities by clubs, it is also recognised that Mount Waverley Reserve is also used by local residents for informal recreation, including dog walkers, casual users, walkers/joggers, recreational cyclists, local schools and to access the playground and sporting facilities for community activities, informal use and events.

The Master Plan will explore opportunities for alternative uses of the area currently occupied by the club tennis courts to support additional community use and/or expansion of the Learning Centre/Occasional Care (e.g. outdoor play area, community garden, etc.).



Photographs of the Waverley Community Learning Centre building and facilities.

Neighbouring land use: Melbourne Water Reservoir

Mount Waverley Reserve sits adjacent to Melbourne Water controlled land known as Water Reservoir Number 16 (i.e. WR16). As can be seen on the plan on this page, the reservoir is located on a parcel of land that is larger than Mount Waverley Reserve.

Melbourne Water advised that the reservoir is a crucial component in Melbourne’s water distribution network and will not be decommissioned in the foreseeable future. The asset supplies parts of the City and growth related to Fisherman’s Bend. The site will not be surplus to requirements. No changes are proposed from a hydraulics or capacity point of view.

There are a number of drainage assets located on the north boundary of the recreation reserve and in Fleet Street, as well as valves and fittings on the north and south side of the oval. There is a scour pipe present on the eastern side of the oval. An application must be made to Melbourne Water’s Asset Services team for specific conditions including clearance zones from assets. Access to these Melbourne Water assets are required at all times.

Melbourne Water will remove and replace ageing, senescent pine trees along the boundaries of WR16 in the short-medium term (i.e. 1-5 years). This timeframe may be longer depending priorities at other Melbourne Water reserves. Large sale removal would include development of a landscape plan with input from Council and the community.

As a principle, Melbourne Water supports public activation of reserves, however WR16 is used by both Telco and MW operations, with considerable vehicle movements, chemical deliveries, crane operations and infrastructure in the area and therefore public access/activation is not appropriate at this site.

Melbourne Water does not have any requirements for use of Mount Waverley Reserve (other than existing drainage infrastructure) and would like the master plan to retain the integrity and security between the two sites.

Existing arrangements for water harvesting for sporting field irrigation should be formalised via a licence agreement between Melbourne Water and Council so that rights and obligations are appropriately recorded. This could include access arrangements to inspect and clean the offtake as required.

Implications for the Master Plan include confirmation of the long-term future of the Melbourne Water land as an active reservoir, thereby ruling out any possible future expansion of Mount Waverley Reserve into the adjacent site, hence confining Mount Waverley Reserve to a maximum capacity of a single oval venue. Council facility and infrastructure provision should therefore reflect Class B hierarchy standards (as per Councils Active Reserves policy framework) and seek to actively manage usage loads by maximizing use of other active reserves in the region where required – this may require an upgrade to training and competition facilities at selected other venues (e.g. Pinewood Reserve).



Figure 8
Melbourne Water Reservoir extents



STAKEHOLDER ASPIRATIONS

Sporting Clubs

The three clubs (i.e. Mount Waverley Cricket Club, Waverley Blues Football & Netball Club and Mount Waverley Tennis Club) have been working collaboratively to identify priority needs and future aspirations for the reserve. A Power Point presentation was submitted by the clubs to the consultant team (June, 2020) outlining their collective vision and aspirations for the reserve. The suggestions are aspirational and will be assessed against the ISP and Background Research outcomes to ensure consistency with Council policy and planning frameworks when developing the draft master plan. A summary of key information is outlined below.

Collective Vision

“Creating a community hub for the people of Monash.”

Aspirations

“To deliver a community facility that will serve the diverse needs of the Monash area by bringing stakeholders who share the Mount Waverley Reserve together to build a facility that will cater for their needs and interests.”

It will be underpinned by:

- A sense of diversity and community pride.
- Inclusiveness that will allow people of all ages, backgrounds, genders and abilities to utilize the facility.
- Designed to meet the current and future needs of clubs and the community.
- Providing contemporary facilities for the next generation.
- Creating a local hub for the community.

Points of difference

The clubs believe their submission/vision has the following key points of difference:

- Collaboration between the sporting clubs and willingness to form an alliance to support development and operation of new facilities.
- Viewed as a community facility, not just sporting facilities.
- Facilities will collectively service over 3000 members and supporters (of all clubs) as well as the broader community.
- Willingness and demonstrated capacity to embrace diversity and inclusion.
- Multi-use, shared-use facility.
- Alignment with Council Strategy, specifically *Health and Resilient Monash: Integrated Plan 2017 to 2021 and Monash 2021 and Beyond*.

Key issues for the Master Plan to consider

The clubs identified the following key issues to be addressed in the Master Plan:

- Current pavilion facilities are too small for user needs.
- Pavilion size limits capacity to deliver extended activities to the community.
- Current facilities are not designed to cater for female participation.
- Kitchen facilities are restrictive and limit catering capacity (including event catering).
- Current facilities do not meet the needs of stakeholders.
- Training facilities are inadequate having regard to the size of the population, growth of clubs and standard of competition/participation.
- Current facilities limit capacity for cohabitation and shared use.
- Reserve facilities lack access to public toilets, BBQ's, seating and other features/ furniture.
- Car parking is limited, traffic flow/management could be improved.
- Limited storage facilities for clubs.
- Opportunities to improve safety for users.
- Overall amenity and functionality of the reserve.

Figure 7 reproduces a plan provided by the clubs as an indication of a possible new layout for new, upgraded and shared use facility aspirations at the reserve. It is acknowledged that this plan has been developed by the clubs as an indication only for discussion purposes and that it does not take into account Council's overall planning principles and policy framework.

Waverley Community Learning Centre (Fleet Street neighbourhood house) and Occasional Care

Aspirations / priorities expressed by the Community Learning Centre for consideration in the Master Plan included:

- Retain existing neighbourhood house facilities, in particular the California Bungalow 'house' as this is critical to the amenity and appeal of the Centre. It is also believed to have heritage significance.
- Retain access to car parking along Fleet Street and within the reserve.

- Significant renovation or rebuild of the Community Learning Centre facilities would have a major impact on ongoing operations if closure were required to rebuild. Concern was raised about the sustainability of the Center if it was required to close for an extended period to allow construction works.
- The main priority expressed by the Centre was to access a new multi-purpose health and fitness program room within any new sports pavilion (if developed) to allow the Centre to expand program offerings. Exclusive use during defined hours (daytime) would be required, as well as clarity around management, cleaning and insurance considerations.
- The space would need to be suitable for health and fitness programming (e.g. yoga, gentle exercise, dance, etc.). Typically, a hard wood floor that is separate from club social spaces and alcohol service areas i.e. appropriate amenity and functionality to cater for children through to older adults.

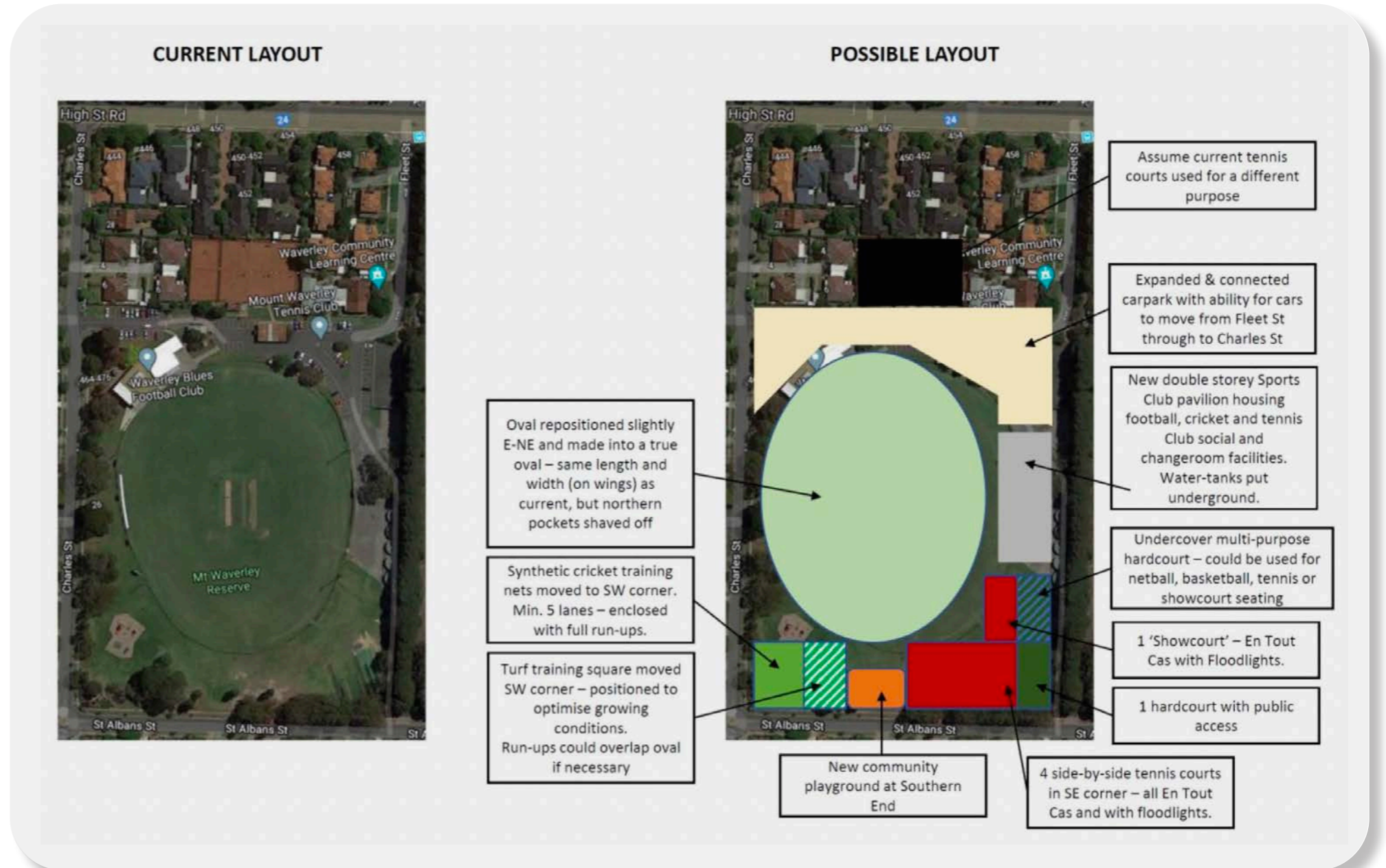


Figure 9 Sporting clubs aspirations for new facilities and suggested possible layout provided by them

DEMAND ASSESSMENT

The following high-level influences have helped inform development of the Master Plan.

Participation Trends (pre-COVID-19)



Australian Rules Football

- Evidence of participation growth across the sport (Victoria-wide), particularly juniors, women/girls and seniors/veterans.
- Junior development programs (i.e. Auskick) continue to attract high participation.
- Increased focus on female friendly facilities, gender equity and universal access standards.
- Waverley Blues participation has remained relatively stable over the last five years (i.e. 14 teams in 2014, 13 teams in 2020).



Netball

- The Eastern Metro Region (incorporating City of Monash) has the highest membership rate of any region in Melbourne at 1.8% of the total population (Vic average 1.3%).
- Netball joined the Waverley Blues Football Club in 2016. Participation is currently low, i.e. approx. 15 senior women.
- Netball participation within the City of Monash is adequately provided for via the Waverley Women's Sports Centre Precinct (i.e. Waverley Netball Centre) and Ashwood High School Netball Facilities (Waverley District Netball Association).



Cricket

- According to the National Cricket Census (2017-18), cricket participation has experienced strong growth (i.e. approx. 9% increase on previous year), with growth experienced across both females and males.
- The census revealed that 30 per cent of cricket's participant base are females, translating to six in every 10 new participants.
- The Victorian Cricket Infrastructure Strategy identified that the east Melbourne region has a higher than average cricket provision ratio. Pavilion and training facility improvements were identified as priorities for future investment.
- Mount Waverley Cricket Club participation has increased from 21 teams in the 2013/14 season to 27 teams in 2019/20 season. The 2017/18 season saw a peak of 32 teams registered with the club.



Tennis

- Tennis club participation has declined in Monash by 3.9% since 2010.
- The suburbs of Glen Waverley, Mount Waverley and Wheelers Hill have the highest supply of tennis facilities in Monash, with 77% of courts at club venues in Monash being located in these 3 suburbs alone (1 court for every 1,579 people). This exceeds Tennis Australia's recommended court provision ratio of 1 court for every 2,000 people.
- Further to this, there are another 67 courts in the Glen Waverley, Mount Waverley and Wheelers Hill catchment, which are not located on Council land.
- The *Monash Tennis Plan (2021)* recommended Council engage with clubs located in Mount Waverley and Glen Waverley to explore potential relocation and merger opportunities in order to consolidate facilities and maximise club sustainability.



Informal recreation

- Notwithstanding the importance of formal sporting clubs and groups, physical activity participation trends confirm that the most popular activities undertaken by all adults (aged over 15 years) are dominated by non-organized, non-club-based activities including walking, cycling and jogging.
- Options to maximise opportunities for multi-use and informal participation in a range of physical activities should be explored in the Master Plan.

Mount Waverley Population Impacts

The current population of Mount Waverley is approximately 36,045 people and is forecast to grow to 40,827 by 2041, an increase of approximately 4,800 people. This is considered a relatively low level of population growth over a twenty-year period. Approximately 19% of new residents will be aged under 17 years representing an additional 912 people, and 59% aged between 18-59 years representing an additional 2,832 people.

Based on current sport participation rates (i.e. AusPlay Australia) the impact of future population growth on likely participation demand can be shown in the table below.

Activity	Adult Participation	Junior Participation	Potential Total Additional Participants by 2041	Approx. Club Membership (as at 2020)
Australian Rules Football	4.2% x 2,832 = 119	15.6% x 912 = 142	261	400+
Netball	3.4% x 2,832 = 96	8.4% x 912 = 76	172	15
Cricket	3.6% x 2,832 = 102	9.0% x 912 = 82	184	320
Tennis	5.2% x 2,832 = 147	7.9% x 912 = 72	219	136

Conclusion

There are limited opportunities to acquire or provide additional public open space (particularly active sport reserves) within the Mount Waverley suburb to service expected population growth.

However, the City's Open Space Strategy acknowledges that there are 6 sporting fields within the Mount Waverley 'precinct', specifically Mayfield Park, Mount Waverley Reserve, Tally Ho Reserve, Mount Waverley Bowling Club, Essex Heights Reserve and Pinewood Reserve. Therefore, not all future participation growth will need to be accommodated at Mount Waverley Reserve.

Despite potential access to alternative playing fields, existing usage data for Mount Waverley Reserve confirms that the oval is already over-used having regard to recommended natural turf carrying capacity – almost 50% above recommended capacity.

Both formal sport and non-club based physical activity participation trends are increasing. Therefore, combined with anticipated population growth, it can be expected that demand for access to appropriate facilities at Mount Waverley Reserve will continue to be in extremely high demand. Option to enhance the capacity, functionality and appeal of sporting and open space infrastructure to service the growing participation needs of the population will need to be explored at Mount Waverley Reserve.

However, given the spatial constraints at Mount Waverley Reserve, the site is only ever going to be capable of accommodating a single oval. Therefore, facility and infrastructure provision should reflect District/Class B standards in accordance with Council's Open Space Strategy and Active Reserve Facility Hierarchy. Levels of (sporting) use will need to be proactively managed by Council and Clubs acknowledging the natural carrying capacity of the reserve and impacts on surrounding residents. One strategy will be to increase the use of other reserves in the region for training and competition whilst retaining Mount Waverley Reserve as a 'home' base for clubs.

Opportunities to enhance informal recreation and physical activity participation opportunities within the reserve will complement existing sporting uses and encourage community engagement.



SCOPE / SCALE OF FACILITIES

The table below compares the current provision of facilities to club requests, policy guidelines and strategic demand assessment in order to identify a recommended scope of facilities to be considered in the Master Plan.

Facility / Asset component	Current provision	Club requests / aspirations	Policy guide or entitlement	Fit for purpose	Recommended scope for consideration in Master Plan
Sport / community pavilion	<ul style="list-style-type: none"> Approx. 450m² Two change rooms (1 pair). Not female friendly. Social area approx. 150 m². 	<ul style="list-style-type: none"> New larger facility (2-storey). Multi-use. Multiple change rooms. Female friendly. Large social area / Community 'Hub'. Meeting rooms. Storage. 	<ul style="list-style-type: none"> Currently Class A Pavilion due to larger social area than 'standard'. Class B standard pavilion is the benchmark entitlement for this site i.e.: Maximum Footprint approx. 500m². By comparison, AFL Guidelines for Local standard venues recommend an indicative pavilion size of 590m². Est. social space approx. 20% of footprint i.e. approx. 100m². Standard kitchen with domestic appliances. Clubs to fund all non-essential, nonfixed appliances or variance to guidelines. 	<ul style="list-style-type: none"> The tennis pavilion was constructed in 1967 and has a limited useful asset life remaining. The main pavilion is structurally sound and has recently been refurbished, however it does not meet contemporary standards and expectations (i.e. lack of change rooms, storage, meeting spaces and female friendly facilities). Demand for more female friendly facilities will continue to grow associated with increasing female participation. Population and participation growth will increase demand for appropriate facilities. 	<ul style="list-style-type: none"> Support renovation of the existing main pavilion to provide female friendly facilities. If tennis remains on site consideration could be given to a larger consolidated pavilion, including multiple change rooms, social space and meeting room.
Oval size	<ul style="list-style-type: none"> Approx. size 155m x 127m 'Odd' shaped oval i.e. narrow pockets at southern end. The oval is over-used having regard to recommended natural turf carrying capacity – almost 50% above recommended capacity. 	<ul style="list-style-type: none"> Full size, improve oval shape. 	<ul style="list-style-type: none"> Class B sportsground. Full size oval (preferred 165m x 135m; Minimum 150m x 110m). Full drainage and irrigation Min. 50m to all boundaries for T20 cricket matches 	<ul style="list-style-type: none"> 'Odd' shaped oval i.e. narrow pockets at southern end. Exceeds minimum standard for AFL, however, does not meet 'preferred' size/shape. Suitable for junior and senior cricket, however may not meet Active Monash requirement for minimum 50m to all boundaries for T20 cricket (depending on which pitch is used). 	<ul style="list-style-type: none"> Explore options to improve the oval shape, noting that any new floodlighting infrastructure needs to reflect preferred oval shape i.e. impact on pole locations.
Oval lighting	<ul style="list-style-type: none"> 4 light towers. Training standard only (Lux levels unknown). 	<ul style="list-style-type: none"> Adequate training standard lighting required as a minimum. 	<ul style="list-style-type: none"> Training standard sports lighting to oval Match standard lighting can be considered if funded by club/s. 	<ul style="list-style-type: none"> Lighting is required to support training needs of clubs – expanding times available for use. Existing average LUX levels are unknown. Match standard lighting could further expand usage opportunities, particularly Friday and Saturday nights. This would help increase opportunities for female participation and matches at the 'home' ground. 	<ul style="list-style-type: none"> Upgrade sports lighting to achieve minimum training standard Lux levels as required (i.e. Australian Standard min = 100 Lux, AFL Preferred standard = 150 Lux). The <i>Monash Sports Floodlighting Policy</i> (2021) states that Clubs are required to contribute 100% of costs associated with higher standards of lighting beyond training provision. Provision of match standard lighting is also subject to Council approval following assessment against the Night Matches Suitability Checklist.



Facility / Asset component	Current provision	Club requests / aspirations	Policy guide or entitlement	Fit for purpose	Recommended scope for consideration in Master Plan
Cricket Nets (#)					
<ul style="list-style-type: none"> • Synthetic 	<ul style="list-style-type: none"> • 3 training pitches 	<ul style="list-style-type: none"> • 5 training pitches 	<ul style="list-style-type: none"> • Council's <i>Cricket Wicket Policy</i> (draft 2021) confirms the following minimum and maximum provision guidelines for Mount Waverley Reserve (i.e. sub-District Cricket standard): 3 synthetic nets (& 6 turf strips). 	<ul style="list-style-type: none"> • There is extremely high demand for existing training facilities (turf and synthetic). • The club indicated most of their training is currently conducted at Mount Waverley Reserve (as opposed to other venues). This could involve up to approx. 32 teams per week. 	<ul style="list-style-type: none"> • Retain access to 3 synthetic training pitches. • Work with the club to utilize other venues for training as required (NB: this may require upgrade of training facilities at other venues).
<ul style="list-style-type: none"> • Turf 	<ul style="list-style-type: none"> • Centre wicket table (6 pitches). • Turf training (8 pitches). 	<ul style="list-style-type: none"> • Retain the same facilities, although relocate within the reserve. 	<ul style="list-style-type: none"> • Council's <i>Draft Cricket Wicket Policy</i> (2021) confirms the following minimum and maximum provision guidelines for Mount Waverley Reserve (i.e. sub-District Cricket standard): 6 turf strips (& 3 synthetic nets). (NB: 6-8 pitches allows two to be live/playable at any one time). 	<ul style="list-style-type: none"> • There is extremely high demand for existing training facilities (turf and synthetic). • This is exacerbated by the unavailability of the turf wickets at times due to soil conditions. • The MWCC play in the second highest standard of turf competition in Victoria. 	<ul style="list-style-type: none"> • Retain the same turf facilities, although consider options to relocate location within the reserve and/or address shading issues. • Consider options to establish a fully enclosed cricket practice facility (turf and synthetic) to improve safety and address turf growing conditions (approx. 36m x 26m).
Tennis Courts (#)					
<ul style="list-style-type: none"> • Surface type 	<ul style="list-style-type: none"> • 4 x En-tout-cas • 1 x asphalt 	<ul style="list-style-type: none"> • 8 new courts - 6 En-tout-cas and 2 hard courts. 	<ul style="list-style-type: none"> • The Monash Tennis Plan (2021) identified the suburbs of Glen Waverley, Mount Waverley and Wheelers Hill as having the highest supply of tennis facilities in Monash (1 court for every 1,579 people), which exceeds recommended provision guidelines of 1 court for every 2000 people. • The Tennis Plan recommended Council engage with clubs located in Mount Waverley and Glen Waverley to explore potential relocation and merger opportunities in order to consolidate facilities and maximise club sustainability. 	<ul style="list-style-type: none"> • Existing courts do not meet contemporary standards (specifically court size i.e. run-off and safety zones). • Tennis club participation (overall) has declined in Monash by 3.9% since 2010. • However, MWTC has reported increases in participation over the last three years (currently approx. 136 members). • An increase in the total number of courts at Mount Waverley Reserve cannot be justified given the current high levels of tennis provision in the region – unless clubs merge or relocate to share facilities (and hence consolidate courts in alternative locations) as recommended in the Monash Tennis Plan. • A minimum of 6-courts are required to support club sustainability. 	<ul style="list-style-type: none"> • Preliminary Options and Spatial Analysis confirms that provision of a minimum of 6-courts at Mount Waverley Reserve cannot be provided on-site without significant adverse impacts on the rest of the reserve. It is therefore recommended that tennis be relocated to an alternative venue and possible merger with another club.
<ul style="list-style-type: none"> • Lighting 	<ul style="list-style-type: none"> • 2 courts lit. 	<ul style="list-style-type: none"> • 8 lit courts. 	<ul style="list-style-type: none"> • Lighting is supported to increase opportunities for use. 	<ul style="list-style-type: none"> • Existing court LUX levels have not been recorded. • Match standard lighting is required in order to maximise opportunities for use. 	<ul style="list-style-type: none"> • Match standard lighting to all courts will be provided if tennis courts are included in the final master plan.
<ul style="list-style-type: none"> • Show court (i.e. with spectator seating) 	<ul style="list-style-type: none"> • Not provided 	<ul style="list-style-type: none"> • 1 show court. 	<ul style="list-style-type: none"> • No policy. 	<ul style="list-style-type: none"> • Club size (i.e. 8/9 teams) and 'local' standard of play does not require a specific show-court. 	<ul style="list-style-type: none"> • Show-court not to be provided.
<ul style="list-style-type: none"> • Multi-use court 	<ul style="list-style-type: none"> • 1 x asphalt. 	<ul style="list-style-type: none"> • 1 multi use hard court 	<ul style="list-style-type: none"> • Multi-use facilities encouraged. 	<ul style="list-style-type: none"> • Multi-use facilities increase opportunities for community use. 	<ul style="list-style-type: none"> • Support inclusion of at least one multi-use / multi-sport hard court for broad community use.
<ul style="list-style-type: none"> • Undercover court 	<ul style="list-style-type: none"> • Not provided. 	<ul style="list-style-type: none"> • 1 multi use hard court (undercover). 	<ul style="list-style-type: none"> • No policy – although not 'usually' provided in public open space unless associated with a specific sporting need or specialist venue. 	<ul style="list-style-type: none"> • Undercover court may increase opportunities for use. 	<ul style="list-style-type: none"> • Undercover courts are not historically provided by Council in public open space and therefore will not be considered in the master plan (i.e. not considered a core requirement).



<i>Facility / Asset component</i>	<i>Current provision</i>	<i>Club requests / aspirations</i>	<i>Policy guide or entitlement</i>	<i>Fit for purpose</i>	<i>Recommended scope for consideration in Master Plan</i>
Netball Court/s	<ul style="list-style-type: none"> Not provided. 	<ul style="list-style-type: none"> 1 multi use hard court (undercover). 	<ul style="list-style-type: none"> Not provided at Football Grounds, netball activities are directed to the Waverley Women's Sports Precinct / Netball Centre and Ashwood High School Netball Facilities (WDNA). 	<ul style="list-style-type: none"> Provision of netball as part of a multi-use court will increase opportunities for club training. 	<ul style="list-style-type: none"> Support inclusion of netball on the two proposed multi-use hard courts.
Playground	<ul style="list-style-type: none"> Local standard play space. 	<ul style="list-style-type: none"> New community playground (potentially in a different location within the reserve). 	<ul style="list-style-type: none"> Support ongoing provision of a Local standard play space (i.e. 5-8 pieces of equipment) at Mt Waverley Reserve. 	<ul style="list-style-type: none"> Support ongoing provision of a Local standard play space to meet club and community needs. 	<ul style="list-style-type: none"> Support ongoing provision of a Local standard play space to meet club and community needs. Australian Standards & Monash Playground Design Standards to be met.
Car parking	<ul style="list-style-type: none"> Currently 82 sealed and marked spaces within the reserve, plus gravel overflow parking area (approx 50 spaces). 	<ul style="list-style-type: none"> Maximise car parking and traffic flow. 	<ul style="list-style-type: none"> Off street carparking – 50 spaces min. 	<ul style="list-style-type: none"> Existing car parking (number of spaces) is generally adequate. However demand exceeds existing capacity on match days, particularly during cross-over periods and club events/gatherings (i.e. involving all or multiple teams). Opportunities to improve pick-up / drop-off zones may need to be considered. Ensure access for bus parking / circulation – particularly servicing the Neighbourhood Centre. 	<ul style="list-style-type: none"> Maximise car parking capacity within the reserve (min. 50 defined spaces) having regard to overall traffic management and functionality. Include provision for set-down areas/ transit zones and bus circulation.



STAGE 1: SUMMARY CONCLUSIONS

Mount Waverley Reserve is a highly-used, highly-valued District sports open space. The reserve supports use by a range of formal sports (i.e. tennis, cricket and Australian Rules Football), community (e.g. Waverley Community Learning Centre and Occasional Care) and informal recreation.

Both formal sport and non-club based physical activity participation trends are increasing. Therefore, combined with anticipated population growth, it can be expected that demand for access to appropriate facilities at Mount Waverley Reserve will continue to be extremely high. Option to enhance the capacity, functionality and appeal of the sporting and open space infrastructure to service the growing participation needs of the population will need to be explored at Mount Waverley Reserve.

However, given the spatial constraints at Mount Waverley Reserve, the site is only ever going to be capable of accommodating a single oval. Therefore, facility and infrastructure provision should reflect District/Class B standards in accordance with Council's Open Space Strategy and Active Reserve Facility Hierarchy. Levels of (sporting) use will need to be proactively managed by Council and Clubs acknowledging the natural carrying capacity of the reserve and impacts on surrounding residents. One strategy will be to increase the use of other reserves in the region for training and competition whilst retaining Mount Waverley Reserve as a 'home' base for clubs.

Opportunities to enhance informal recreation and physical activity participation opportunities within the reserve will complement existing sporting uses and encourage community engagement. There are a number of constraints or issues associated with the use and previous development of the current site, including (but not limited to):

- Physical size constrains limit capacity to a single oval venue with no scope for expansion to provide additional playing fields.
- Key sport facility components do not meet current recommended standards of provision, including tennis courts (size), oval (size and shape) and pavilion facilities. In particular, the tennis pavilion was constructed in 1967 and has a limited useful asset life remaining. The main sports pavilion is structurally sound and has recently been refurbished. The pavilion exceeds Council standards for a Class B Pavilion servicing a District standard sports reserve (the current pavilion has over 120m² of social space that is consistent with a class A pavilion). However, additional refurbishment may be required to improve Female Friendly facility components, including removal of urinals from change rooms, installation of unisex amenities and improved facilities for umpires. Additional storage and club office/administration space could also be considered.
- The number of teams / participants utilising the sport facilities exceeds current capacity – including cricket training nets, change rooms on match days (including umpires and female participants) and social / community meeting spaces.
- The cricket and football clubs rely on access to alternative venues to help cater for usage demands (e.g. Pinewood Reserve, Jordan Reserve, Carlson Reserve, Fregon Reserve and Mount View Primary School). Facilities that support training and competition use at these venues may need to be improved to help spread usage across several venues, however Mount Waverley Reserve will remain the 'home' base for existing cricket and football clubs.
- The site is dominated by formal sport provision. There are opportunities to improve facilities to encourage broader informal community use and appeal of the reserve.

- The existing club tennis courts do not meet required competition standards. There is an over-supply of tennis courts in the Mount Waverley region. A minimum of 6-courts are recommended for club sustainability. Spatial constraints limit the capacity of the reserve to accommodate six new (compliant) courts, therefore the tennis club should be relocated to an existing alternative venue.

The clubs (i.e. Cricket, Football/Netball & Tennis) have expressed a collective vision/aspiration for a range of improvements to the reserve in order to "Create a community hub for the people of Monash." The vision revolves around establishing a new (larger) shared use pavilion, new cricket training facilities and new/additional tennis courts. However, this aspiration fails to reflect Council's policy and planning framework or the realistic capacity of the reserve to accommodate additional use.

Council's policy framework supports provision of a Class B standard Multi-Purpose Pavilion with a maximum footprint of approx. 500m² to service Mount Waverley Reserve (i.e. District standard sports reserve).

Therefore, despite club requests for new or additional pavilion facilities the existing provision reflects Council's core policy framework, recommended guidelines and entitlements. Therefore, aside from minor refurbishment to improve female friendly facilities, design and unisex umpire facilities, development of a new pavilion is not supported.

Given spatial, functionality and sustainability considerations, it is also recommended that tennis be relocated to an alternative reserve as adequate facilities cannot be provided at Mount Waverley (consistent with the *Monash Tennis Plan, 2021*).

The Master Plan will therefore explore options to enhance the functionality, appeal and capacity of the reserve to provide the scope of facilities outlined in the previous section. In summary the proposed core improvement components include:

- Modest renovation of the main pavilion to improve female friendly facilities, unisex umpire change room and publicly accessible unisex toilets to service oval users (i.e. demolish the existing public toilets and incorporate into a renovated main pavilion, and/or stand alone public toilets sited closer to active recreation area and playspace). Options for additional storage and club meeting/administration space could be explored in any redevelopment, along with improved external spectator viewing areas (e.g. perimeter mounding).
- Explore options to re-shape the oval – particularly southern end, having regard to lighting towers and associated infrastructure.
- Upgrade oval sports lighting to achieve minimum training standard Lux levels.
- Retain the capacity of the existing cricket training facilities, however explore possible relocation and enclosure to address safety and turf growing conditions.
- Explore options for re-use of the area currently occupied by the club tennis courts for broad community use and/or possible expansion of the Learning Centre.
- Support inclusion of at least one multi-use hard court for broad community use (i.e. redevelop/upgrade existing court or new court provision in a more appropriate location).
- Support ongoing provision of a Local standard play space to meet club and community needs.
- Improve facilities to encourage broader informal community use and appeal of the reserve (e.g. play space, walking paths, connections, landscaping, tennis wall, multi-use court, adult fitness, etc.).
- Maximise car parking capacity within the reserve (i.e. min. 50 defined spaces as per Council policy) having regard to overall traffic management, functionality and potential amenity/environmental impacts.

The Master Plan will respond to Council's Open Space Planning Principles as follows:

Planning Principles:	Intended Master Plan Response:
Equitable access	<ul style="list-style-type: none"> Maximise physical connectivity, accessibility and functionality throughout the reserve, including DDA/ Universal compliant buildings and associated infrastructure.
Diversity of opportunities and experiences	<ul style="list-style-type: none"> Maximise opportunities for multi-use of facilities and infrastructure. Cater for formal sports (i.e. District / Class B standard Active Sports Reserve). Maximise opportunities for informal community use of the reserve, particularly casual recreation, walking, play and social gathering.
Quantity	<ul style="list-style-type: none"> Reinforce the importance and capacity of the reserve as a District catchment Active Sports Reserve.
Quality (fit for purpose)	<ul style="list-style-type: none"> Improve facilities to meet contemporary standards and relevant sport association guidelines. Relocate tennis to an alternative venue.
Sustainability	<ul style="list-style-type: none"> Incorporate opportunities for ESD, WSUD and CPTED design principles where relevant. Maximise opportunities for shared use facilities and operational efficiencies for volunteer clubs.
Dependency	<ul style="list-style-type: none"> Support ongoing development of the reserve in accordance with its primary function as an Active Sports Reserve.
Environmental outcomes	<ul style="list-style-type: none"> Explore opportunities to improve environmental outcomes in the reserve, including ESD, tree management, protection and enhancement where appropriate. Support water harvesting and re-use opportunities. Support energy efficiencies or initiatives where relevant (e.g. conversion to LED sports lighting, solar panels on new buildings, passive solar design, etc.).

APPENDIX 1: MONASH CITY HORTICULTURE & SUSTAINABILITY TEAM

MASTER PLAN DEVELOPMENT PRINCIPLES

1. Master plans should align with objectives/actions from relevant Council policy, strategies, plans, frameworks.

Examples include but not limited to:

- Open Space Strategy
- Vegetation and Canopy Strategy
- Environmental Sustainability Strategy
- Urban Biodiversity Strategy
- Street Tree Strategy
- Health and Wellbeing Plan
- Playgrounds Strategy
- Sports Grounds Hierarchy

2. Reserves cater for a variety of park users which reflects the diversity of our local Monash community and the activities they enjoy in the reserve

Consider all the park users for a reserve on an equal footing. Although sporting clubs may be better placed to put a case and grant forward to support their particular activity in the reserve, there are many more residents who would like to use the reserve for activities other than sports. These local users have less of a united voice due to not being part of an organised group and so are potentially disadvantaged. These users might enjoy passive recreation activities such as; picnics, casual ball games, nature walks, bird watching, tai chi, dog walking, meditation and yoga. A successful grant submission for a specific pavilion or sports facility should not in all cases take precedence over other services provided at the location. Funding to renew and upgrade should aim to enhance a range of strategic objectives.

3. Reserves are categorised into specific activity and horticultural zones

Each reserve has different specific purposes and user groups. Reserves should have areas that are designated for the land use and associated activities. For example; high conservation zone areas, sporting facility areas, passive recreation area, general open space, ornamental gardens, wetland. This zoning is put in place at the beginning of the ISP so any proposed developments are suitable for the specific use or value of that area in the reserve.

4. Clearly identify the purpose/s of the reserve

Understand what are the primary and secondary uses and expectations for each reserve. Is it possible to deliver for multiple service needs at the reserve. Which services should be a priority? Manage the risk of competing services impacting each other in a negative way.

5. Long term management of park features

All proposals and plans need to consider the long term management of assets and infrastructure installed, including the upkeep of gardens and playgrounds. Ongoing resources need to be factored in to ensure the new infrastructure, gardens and assets can be maintained to the expected standard. The community will expect ongoing maintenance to the same standards as when it was installed so there needs to be an agreement with the department responsible for ongoing maintenance (e.g. horticulture, asset maintenance) before the works are approved.

6. Improved vegetation opportunities should be considered for each reserve, particularly increased canopy and understorey

Most of our reserves (except for the bushland reserves) have limited understorey to support local wildlife. Each reserve has opportunities for the provision of improved vegetation to encourage smaller indigenous birds such as Pardalotes, Superb fairy wrens and Eastern Spinebills who are currently outcompeted by the introduced Myna birds who thrive in reserve areas which are predominately trees and grass.

Our reserves can support more canopy trees which help to reach our 30% canopy target and provide important habitat for indigenous wildlife such as Powerful Owls and microbats.

Biodiversity/tree assessment reports should be completed at the outset of the ISP process to ensure we are protecting and improving biodiversity in our reserves.

7. Our goal at each site should be to achieve no net loss of vegetation while achieving the objectives of other service areas e.g. 10 more hours of active sport per week.

8. Installation of additional infrastructure such as car parks, lighting, pavilions and playgrounds should be on an as-needs basis

A rigorous data collection process should take place to confirm the need for more infrastructure rather than in response to anecdotal or political pressure from vested user groups with powerful voices. For example, if more car parking is proposed in current open space there needs to be a strong case provided to justify why valued public open space is replaced with a car park that may only be used for a few hours on a weekend. Transport Engineers should be consulted to determine if other measures such as if local parking restrictions can be altered for weekends if necessary to accommodate overflow. If car parks are determined to be absolutely necessary then permeable options should be prioritised to reduce the heat island effect, allow water to soak through and provide alternate activities when car parks are not in use.

Opportunities for other sustainable and active transport should be provided, e.g. links to bike path network, encouragement of sporting patrons to car/bus pool to reduce need for parking and reduce emissions.

9. Ecological Sustainability Design Principles in all new and refurbished pavilions

Any new buildings should have energy and water saving elements incorporated, as well as opportunities for environmentally friendly building products. With any new buildings or significant refurbishment projects, energy efficiency measures should be included. Monash can better support clubs and groups that lease space by providing energy efficient resources with reduced operating costs for users and Council. Accessing passive lighting and rainwater harvesting with sensitivity to the natural environment as well as LED lighting, solar panels and all electric appliances should be considered priority. These energy efficiency measures align with Monash's net zero by 2025 emissions strategy

10. Water Sensitive Urban Design to be incorporated

In buildings, landscaping and sporting grounds. Early consultation with Design Engineers advisable.

11. Waste Management considered

Allocation of bin collection areas, adequate provision and placement of waste and recycling bins. Early consultation with Waste Services advisable.




APPENDIX 2: PUBLIC TOILET STRATEGY (DRAFT 2021)

Mount Waverley Reserve


Strategic Context	
Land ownership	City of Monash
Location type	Park or reserve
Constraint by retarding basin	No
Constraint by overhead transmission line	No
Any new public toilet committed by others in proximity?	No
Any proposed new council building or building upgrade in proximity?	No
Does internal stakeholder consultation feedback support public toilet provision in this area?	Yes
<i>Other comments</i>	
Assessment result: Strategic context supports new public toilet provision	
Facility condition of existing non-public toilet in the area	
Mount Waverley Reserve Toilet	Adjacent to car park without disabled parking space, direct external access
Recommended investigation: Investigate feasibility of upgrade existing standalone toilet and open it to public.	

On-site assessment	
Nearby playground	Local level
Nearby sports field	Non-A grade sports fields
Nearby shared trail	No
Existing service connection	Services connected to existing pavilion and standalone toilet
Terrain	Fairly flat around the existing toilet and car park
Connectivity to the surroundings	Good connectivity to surroundings from toilet and car park
Building asset condition	Fair
General asset condition and vandalism situation	Fair
Surveillance from the surroundings	Good surveillance around toilet from car park and sports field
Other context	Mount Waverley Tennis Club in the north of reserve, bus stop to north on High Street Road approx. 200m away from toilet
Comment: Existing standalone toilet is located at a well-connected location with good surveillance.	

Action proposal (To be updated)	
Priority status	Low?
Service level	Base?
<ul style="list-style-type: none"> 0 Optimal location for short term new public toilet 1 Car park 2 Non-A grade sports fields 3 Local playground 4 Sports pavilion 5 Mount Waverley Tennis Club 6 Bus stop 	
Option 1	Open Mount Waverley Reserve toilet to public
Design standard	?
Associated cost	Initial cost \$, ongoing cost \$?
Timeline	
Option 2	Refurbish Mount Waverley Reserve toilet to 2 unisex accessible or one unisex accessible + 2 unisex ambulant PTs
Design standard	?
Associated cost	Initial cost \$, ongoing cost \$?
Timeline	
Option 3	New standalone automated single unit unisex PT at the same location of existing toilet block
Design standard	?
Associated cost	Initial cost \$, ongoing cost \$?
Timeline	
Other recommendation: Provide one disabled parking space in car park next to future public toilet.	

APPENDIX 3: CITY OF MONASH ASSET CONDITION ASSESSMENT

The following condition audit assessments were undertaken as part of Council's Asset Management Planning in August 2017.

Site-Asset	1730-10000	Building Name	Mt Waverley Reserve Pavilion
Service Group	Active Monash		
Site	Mt Waverley Reserve		
Address	8-26 Charles St, MT WAVERLEY		
Constructed	1963		
Extended	1982, 2005		
Building Area (m2)	368		
Replacement \$	\$1,216,700		
Current WD Value \$	\$243,340		
Valuation Yr	2020		
Condition Audit	10/08/2017		
Asbestos	Yes		
FCI-0	1%		
FCI - 10	16%		
FCI - 25	27%		
FCI - 40	0%		

Element		Cond Rating	Average Remaining Useful Life	0-5 Years	6-15 Years	16-25 Years	26 - 35 Years	36 Years +
Structure/ Envelope	Fascia/Guttering	2.0	24			\$ 8,200		
	Frame/Structural Walls	2.0	40					\$ 533,000
	Roof	3.0	25			\$ 92,000		
	Slab	2.0	80					\$ 127,000
	Wall Cladding	2.0	24			\$ 76,000		
	Windows	2.0	15		\$ 45,000			
Structure/ Envelope		2.2	34.7	\$ -	\$ 45,000	\$ 176,200	\$ -	\$ 660,000
Building Services	Electrical	2.0	14		\$ 48,000			
	Electrical Hardware	2.0	8	\$ 2,000	\$ 12,000			
	Fans	2.0	8		\$ 200			
	Lighting	2.0	8	\$ 200	\$ 3,200			
	Plumbing Fixtures	2.0	14		\$ 1,200	\$ 600		
	Rainwater Tanks	2.0	20					
Building Services		2.0	12.0	\$ 2,200	\$ 64,600	\$ 600	\$ -	\$ -
Fit out/Finishes	Ceilings	2.2	20.0			\$ 70,000		
	Curtains/Blinds	3.0	16.0			\$ 6,000		
	Desk/Cabinet/Shelves/Rails	2.3	14.2		\$ 19,900	\$ 6,200		
	Doors	2.0	18.9		\$ 2,900	\$ 11,700		
	Fixed Signs and Boards	2.0	9.5		\$ 700	\$ 700		
	Floor Coverings	2.2	8.1	\$ 10,500	\$ 21,000			
	Handrails, Balustrades, Ramps	2.0	7.0		\$ 3,800			
	Sinks Basins and Baths	1.9	12.3		\$ 4,500	\$ 2,100		
	Surfaces/Painting	2.1	10.8		\$ 21,500	\$ 8,000		
	Tapware/Sanitary	2.0	13.5		\$ 1,400	\$ 1,750		
Fit out/Finishes		2.2	14.0	\$ 10,500	\$ 75,700	\$ 155,850	\$ -	\$ -
Site	Fencing/Gates	2.0			\$ 3,500			
	Signs/Other	2.0	7.0		\$ 700			
	Stairs/Ramps/Balustrades				\$ 2,300			
Site Infrastructure		2.0	7.0	\$ -	\$ 6,500	\$ -	\$ -	\$ -
TOTALS				\$12,700.00	\$191,800.00	\$332,650.00	\$ -	\$660,000.00

Hierarchy	Element	Quantity	0-5 Years	6-15 Years	16-25 Years	26 - 35 Years	36 Years +
TOTALS		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

FCI	FCI	FCI - 4	FCI - 10	FCI - 25	FCI - 40	FCI - +40
	FCI	1%	16%	27%	0%	54%
	Accumulative FCI	1%	17%	44%	44%	98%

ARTIST'S IMPRESSION ONLY. THESE IMAGES ARE INTENDED AS A GUIDE ONLY AND ARE NOT TO BE USED FOR TENDERING OR CONSTRUCTION PURPOSES.

Site-Asset	1730-40000	Building Name	Mt Waverley Reserve Tennis Pavilion
Service Group	Active Monash		
Site	Mount Waverley Reserve		
Address	8-26 Charles St, MT WAVERLEY		
Constructed	1967		
Building Area (m2)	130		
Replacement \$	\$343,850		
Current WD Value \$	\$89,401		
Valuation Yr	2020		
Condition Audit	10/08/2017		
Asbestos	Yes		
FCI-0	4%		
FCI - 10	33%		
FCI - 25	68%		
FCI - 40	0%		



		Element	Cond Rating	Average Remaining Useful Life	0-5 Years	6-15 Years	16-25 Years	26 - 35 Years	36 Years +	
Building Condition	Structure/Envelope	Fascia/Guttering	2.5	16		\$ 8,500				
		Frame/Structural Walls					\$ 165,000			
		Roof	3.5	10		\$ 32,000				
		Slab								
		Wall Cladding	3.0	24			\$ 55,200			
		Windows	3.5	5		\$ 7,700				
	Structure/Envelope			3.1	13.8	\$ -	\$ 48,200	\$ 220,200	\$ -	\$ -
	Building Services	Electrical	3.5	16.0		\$ 2,000	\$ 2,000			
		Electrical Hardware	3.0	10	\$ 2,000	\$ 4,000				
		Fans	3.0	5.0		\$ 1,600				
		Lighting	2.0	8	\$ 800	\$ 3,200				
		Plumbing Fixtures								
	Building Services			2.9	9.8	\$ 2,800	\$ 10,800	\$ 2,000	\$ -	\$ -
	Fit out/Finishes	Ceilings	2.2	14.0		\$ 14,000				
		Curtains/Blinds	3.0	10.0		\$ 3,000				
		Desk/Cabinet/Shelves/Rails	2.5	14.2		\$ 6,200				
		Doors	2.2	18.9		\$ 2,900	\$ 9,200			
		Fixed Signs and Boards	2.0	9.5		\$ 700	\$ 700			
		Floor Coverings	2.8	8.1	\$ 10,500	\$ 10,500				
		Handrails Balustrades and Ramps								
Sinks Basins and Baths		2.5	12.3		\$ 2,100					
Surfaces/Painting		2.3	10.8		\$ 14,500					
Tapware/Sanitary		2.0	13.5	\$ 1,400	\$ 1,400					
Walls Cladding										
Windows										
Fit out/Finishes			2.4	12.4	\$ 11,900	\$ 55,300	\$ 9,900	\$ -	\$ -	
Site	Fencing/Gates					\$ -				
	Signs/Other	0.0	0.0			\$ -				
	Stairs/Ramps/Balustrades					\$ -				
Site Infrastructure			0.0	0.0	\$ -	\$ -	\$ -	\$ -	\$ -	
TOTALS						\$14,700.00	\$114,300.00	\$232,100.00	\$ -	\$ -

		FCI - 4	FCI - 10	FCI - 25	FCI - 40	FCI - 40+
FCI	FCI	4%	33%	68%	0%	0%
	Accumulative FCI	4%	38%	105%	105%	105%

APPENDIX 4: MT WAVERLEY TENNIS FACILITY AND CONDITION AUDIT (2MH, 2018)

Mount Waverley Tennis Club - Facility Audit and Condition Report

conducted for

City of Monash - Mount Waverley

Document No.
COM011

Local Govt Authority Name
City of Monash

LGA contact person & Position

Jackie Grieve - Strategic Leisure Planner

Location

450-452 High Street Road
Mount Waverley VIC 3149
Australia
(-37.87147260740201, 145.1352274978022)

Auditor

Mick Hassett

Conducted on

3/8/18, 9:01 am

Centre Type

Medium

Centre Purpose

Competition Facility

Personnel

Mick Hassett

Completed on

13/11/18, 9:13 am

Audit

Question	Response	Details
Total Number of Courts	4	
Total Number of Enclosures/pavements	2	
Total Number of Courts with Lights	2	

Overall site photo(s)



Appendix 1

Appendix 2







Appendix 3

Appendix 4

FACILITY CONDITION

ENCLOSURE 1

Total number of courts	1
Are they Indoor or Outdoor Courts?	Outdoor
Outdoor Court	<input checked="" type="checkbox"/>
Number of Outdoor Courts	1
Is this a Netball, Tennis or Basketball Court?	Tennis
Is this a multi-sport court(s)?	No
How is this court(s) orientated?	North/South (recommended)
Base type	Red Porous
Number of Red Porous courts	1
Red Porous Base Condition Rating	1 - Very Good
Base Condition Issues	Base in good condition
Outdoor Court(s) surface	Red Porous
Surface Condition Rating	1 - Very Good

Question	Response	Details			
Court Surface Condition Issues		Leaf litter, Debris - mainly around fencing , Weed growth present			
Linemarking Condition		Good Quality (some wear)			
Overall Condition Rating		2 - Good			
Priority	Low				
OUTDOOR COURT NOTATIONS		<p>Court 1 is in a stand-alone enclosure. It is obviously too small to house a court that meets current standards, and some built structures make this problem worse.</p> <p>A set of concrete steps that lead up to courts 2-4 are situated in such a way that they protrude very close to the sideline on the east side.</p> <p>Two irrigation taps that provide tank water have been fixed to the rendered retaining wall to the east side of the court, further reducing the run-off width in this area.</p> <p>It was pointed out to the consultants that the irrigation system installed has been poorly done. It is the consultants view that fixing the pipe work, solenoids and sprinkler heads above ground is the best approach when compared to the alternative of trenching, which would have greatly disturbed the courts playing surface.</p> <p>Some joins in the pipes are leaking badly, and this should be addressed ASAP by a suitably skilled plumber or irrigation contractor.</p> <p>The fencing is aged and below the level of the current Australian Standards, however it still remains functional and actually presents quite well.</p> <p>This court has no lighting.</p> <p>The playing surface is very well kept and is in very good condition.</p> <p>It is unusual to see red porous courts that don't display extreme wear and deep worn out areas. This court is therefore an exception.</p> <p>The rendered retaining wall is cracked in several locations and the cracks are opening up. It's the consultants view that the wall shouldn't fail and collapse, but it should be regularly monitored to ensure that it doesn't at some stage become dangerous.</p>			
OUTDOOR COURT NOTATIONS CONTINUED					
Outdoor Court Photos					
					
Appendix 5	Appendix 6	Appendix 7	Appendix 8	Appendix 9	Appendix 10



Appendix 11



Appendix 12



Appendix 13



Appendix 14



Appendix 15



Appendix 16



Appendix 17

Additional court photos (if required)

DRAINAGE

Is the drainage infrastructure adequate?	Unsure
Drainage Rating	3 - Fair
Drainage Type	No formed drainage infrastructure
Drainage Issues/Condition	Minor ponding evident
Drainage Notations	There is no obvious drainage system to be seen on site. This court most likely drains down through the profile of the court. Older courts like this one can at times struggle to drain efficiently because the system beneath the court is aged and blocked. The overall drainage performance of the court is unknown.

Drainage photos



Appendix 18

Appendix 19

Appendix 20

COMPLIANCE (TO COMPETITION STANDARD)

Are the court(s) compliant?	No
Which courts are compliant?	0
Which courts are not compliant?	1

Question	Response	Details
Which run-offs are not compliant?	Baseline run-offs, Sideline run-offs	
Could the court(s) be made compliant within the existing pavement footprint?	No	
If yes, how?		
In which direction does this pavement need to grow to accommodate compliant court(s)?	North/South, East/West	
Is there adequate space surrounding the enclosure to make the court(s) compliant?	Unsure	
What obstacles are within the required run-off areas?	Retaining Wall , Fencing	
Could the courts be made compliant by removing obstacles from the run-offs?	No	
If yes, how?		
Are the court dimensions compliant?		
COURT COMPLIANCE NOTES		<p>Mount Waverley Enclosure 1 – Court 1 Tennis</p> <p>These courts do not meet the current standards.</p> <p>The existing enclosure size is; 33616mm N/S x 15825mm E/W Enclosure size required for 1 minimum recommended standard size tennis courts is; 34734mm N/S x 17073mm E/W Therefore, this enclosure is 1118mm too short N/S and is 1248mm too short E/W. This enclosure is too short both N/S and E/W.</p> <p>COURT DIMENSIONS: (23774mm length and 10973mm width required) This court has a compliant court length, however, has a non-compliant court width. Court 1 - 23777mm (within tolerance) x 10967mm (6mm too short).</p> <p>RUN-OFFS: (5480mm baseline, 3050mm sideline and 3660mm between courts required). All court run-offs are non-compliant to the minimum recommended standards.</p> <p>CRT 1 Northern baseline = 4973mm to concrete edge (non-compliant) Southern baseline = 4866mm to fence (non-compliant) Western sideline = 2293mm to brick (non-compliant)</p>

COM011

Eastern sideline = 1088mm to steps (non-compliant)

All court lengths should be addressed when re-linemarking

- 'Current Standards' refer to the recommended and minimum dimensions and run-offs of a tennis court set by the International Tennis Federation's (ITF) Rules of Tennis (Tennis Dimension guide is attached). It is recommended that the club/council liaise with Tennis Victoria for all future planning of this facility
- The Current Standards recommend that the court surface and the run-offs are of the same surface type, without change of level or obstruction. A minimum of 3050mm obstacle free, level and consistent surface is required to each sideline, 5480mm to each baseline and 3660mm between courts for tennis.

Compliance Photos



Appendix 21

Appendix 22

Appendix 23

Appendix 24

Appendix 25

Appendix 26

LIGHTING

Is there Lighting?

No

ACCESSIBILITY

Is this court enclosure's accessibility adequate?

Yes

Accessibility Rating

3 - Fair

Accessibility Issues

Trip hazards identified

Main access gate dimensions

South gate - 1051mm wide

Accessibility Notations

The general path network to the court is quite good, well made out of concrete connecting the car park to the clubhouse and the court. Sections of the concrete path have moved and created trip points. A set of steps leading from court 1 up into court 2-4 are steep and most likely require a hand rail. Some minor steps outside the enclosure do have a handrail.

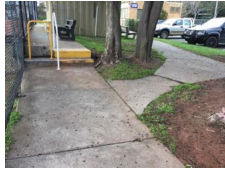
Accessibility Photos



Appendix 27



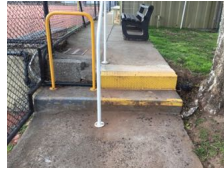
Appendix 28



Appendix 29



Appendix 30



Appendix 31



Appendix 32

SUPPORTING INFRASTRUCTURE

Fencing type	Black PVC chainmesh fencing , High , With bottom rails
--------------	--

Fence height	3m to 3.5m, 3.6m +
--------------	--------------------

Fence rating	3 - Fair
--------------	----------

Fencing Photos



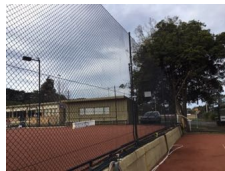
Appendix 33



Appendix 34



Appendix 35



Appendix 36

The fencing to the west side and the north side is extra high to prevent balls getting into neighboring residential properties.
 Overall the fencing is quite good, it presents neatly (but faded) and it remains functional.
 Wind break material and signage should not be fitted to these fences as they appear to be under specified for such an increased wind loading.

Is there Tennis Court supporting infrastructure?	Yes
--	-----

Net post type	Painted old style round galv posts, With fixed winders, Straight
---------------	--

Net post rating	3 - Fair
-----------------	----------

Net post notations	These are typical old styled units that do the job but are lacking aesthetically.
--------------------	---

Net post photos



Appendix 37



Appendix 38

Net type	3/4 drop net(s), Tethered to the net posts, Centre net strap fitted
Net condition rating	2 - Good
Net notations	The net is sound and presents well.

Net Photos



Appendix 39

Overall infrastructure rating	3 - Fair
Is there adequate seating?	Yes
Is there adequate shelter?	No
Seating & Shelter Notations	One long, purpose built and fitted seat is positioned to the south end of the court outside the enclosure. It's quite good. There is a little bit of shelter offered from a veranda off the shed to the south end, but this mostly serves courts 2-3.

Seating & Shelter Photos



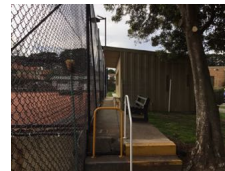
Appendix 40



Appendix 41



Appendix 42



Appendix 43

Is there another enclosure?	Yes
-----------------------------	-----

FACILITY CONDITION

ENCLOSURE 2

Question	Response	Details
Total number of courts	3	
Are they Indoor or Outdoor Courts?	Outdoor	
Outdoor Court	<input checked="" type="checkbox"/>	
Number of Outdoor Courts	2, 3, 4	
Is this a Netball, Tennis or Basketball Court?	Tennis	
Is this a multi-sport court(s)?	No	
How is this court(s) orientated?	North/South (recommended)	
Base type	Red Porous	
Number of Red Porous courts	3	
Red Porous Base Condition Rating	2 - Good	
Base Condition Issues	Ponding	
Outdoor Court(s) surface	Red Porous	
Surface Condition Rating	2 - Good	
Court Surface Condition Issues	Ponding, Minor ponding, Leaf litter, Debris - mainly around fencing , Excessive sand, Weed growth present	
Linemarking Condition	Good Quality (some wear)	
Overall Condition Rating	2 - Good	
Priority	Low	
OUTDOOR COURT NOTATIONS	<p>These 3 courts are also obviously too small to house courts that meet the current standards, and some built structures such as light towers make this problem worse. The tennis coach actually raised this as a concern when he's coaching youths who play at a high standard. Six irrigation taps that provide tank water have been fixed to the fencing behind and beside the courts, further reducing the run-off widths.</p> <p>It was pointed out to the consultants that the irrigation system installed has been poorly done. It is the consultants view that fixing the pipe work, solenoids and sprinkler heads above ground is the best approach when compared to the alternative of trenching, which would have greatly disturbed the courts playing surface.</p> <p>Some joins in the pipes are leaking badly, and this should be addressed ASAP by a suitably skilled plumber or irrigation contractor.</p> <p>The fencing is aged and below the level of the current Australian Standards, however it still remains functional</p>	

COM011

and actually presents quite well.
 Only 2 courts have lighting - courts 3 and 4.
 The playing surface is very well kept and is in very good condition.
 It is unusual to see red porous courts that don't display extreme wear and deep worn out areas. This court is therefore an exception.

OUTDOOR COURT NOTATIONS CONTINUED

Outdoor Court Photos



Appendix 44

Appendix 45

Appendix 46

Appendix 47

Appendix 48

Appendix 49



Appendix 50

Appendix 51

Appendix 52

Additional court photos (if required)

DRAINAGE

Is the drainage infrastructure adequate?

Unsure

Drainage Rating

3 - Fair

Drainage Type

No formed drainage infrastructure

Drainage Issues/Condition

Minor ponding evident

Drainage Notations

There is no obvious drainage system to be seen on site. This court most likely drains down through the profile of the court. Older courts like this one can at times struggle to drain efficiently because the system beneath the court is aged and blocked. The overall drainage performance of the court is unknown.

Drainage photos

COMPLIANCE (TO COMPETITION STANDARD)

Are the court(s) compliant?

No

Which courts are compliant?

0

Question	Response	Details
Which courts are not compliant?	2, 3, 4	
Which run-offs are not compliant?	Baseline run-offs, Sideline run-offs, Between Court run-offs	
Could the court(s) be made compliant within the existing pavement footprint?	No	
If yes, how?		
In which direction does this pavement need to grow to accommodate compliant court(s)?	North/South, East/West	
Is there adequate space surrounding the enclosure to make the court(s) compliant?	Unsure	
What obstacles are within the required run-off areas?	Fencing	
Could the courts be made compliant by removing obstacles from the run-offs?	No	
If yes, how?		
Are the court dimensions compliant?		
COURT COMPLIANCE NOTES		<p>Mount Waverley Enclosure 2 - Courts 2,3&4 Tennis</p> <p>These courts do not meet the current standards.</p> <p>The existing enclosure size is; 33839mm N/S x 42571mm E/W Enclosure size required for 3 minimum recommended standard size tennis courts is; 34734mm N/S x 46339mm E/W Therefore, this enclosure is 895mm too short N/S and is 3768mm too short E/W. This enclosure is too short both N/S and E/W.</p> <p>COURT DIMENSIONS: (23774mm length and 10973mm width required) All court dimensions are non-compliant, however, court 2 has a within tolerance court length. Court 2 - 23772mm (within tolerance) x 10957mm (16mm too short). Court 4 - 23750mm (24mm too short) x 10967mm (6mm too short). Court 5 - 23760mm (14mm too short) x 10966mm (7mm too short).</p> <p>RUN-OFFS: (5480mm baseline, 3050mm sideline and 3660mm between courts required). All court run-offs are non-complaint to the minimum recommended standards.</p>

CRT 2

Northern baseline = 4701mm to irrigation pipe (non-compliant)

Southern baseline = 5056mm to brick (non-compliant)

Western sideline = 2233mm to brick (non-compliant)

Between court run-off = 2511mm (non-compliant)

CRT 3

Northern baseline = 4903mm to light tower (non-compliant)

Southern baseline = 4788mm to brick (non-compliant)

Between court run-off = 2527mm (non-compliant)

Between court run-off =2511mm (non-compliant)

CRT 4

Northern baseline = 4356mm to roller (non-compliant)

Southern baseline = 4121mm to irrigation pipe (non-compliant)

Between court run-off = 2239mm to irrigation pipe (non-compliant)

Between court run-off =2527mm (non-compliant)

All court dimensions should be addressed when re-linemarking

- ‘Current Standards’ refer to the recommended and minimum dimensions and run-offs of a tennis court set by the International Tennis Federation’s (ITF) Rules of Tennis (Tennis Dimension guide is attached). It is recommended that the club/council liaise with Tennis Victoria for all future planning of this facility
- The Current Standards recommend that the court surface and the run-offs are of the same surface type, without change of level or obstruction. A minimum of 3050mm obstacle free, level and consistent surface is required to each sideline, 5480mm to each baseline and 3660mm between courts for tennis.

Compliance Photos



Appendix 53



Appendix 54



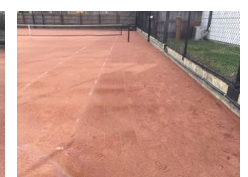
Appendix 55



Appendix 56



Appendix 57



Appendix 58



Appendix 59



Appendix 60



Appendix 61



Appendix 62




Appendix 63

LIGHTING

Is there Lighting?

Yes

Question	Response	Details
Number of courts with lighting	2	
Lighting rating	2 - Good	
High or low level & condition	Black powder coated poles, Low level shoe box lighting, Low Tower, Steel Poles, Pole Height >8m, Average condition, Side Tower configuration	
Number of light towers	9	
Number of light fittings per tower	1, 2	
Recommend Lux Level Test?	Yes	
Light Tower Notations	<p>The lighting scheme appears to be fit for purpose and well set out.</p> <p>Only courts 3-4 have lighting.</p> <p>The light fittings appear older than they were reported to be by the club rep.</p> <p>The box fittings appear aged and discoloured.</p>	
Lighting Photos		
		
<p>Appendix 64 Appendix 65 Appendix 66</p>		
ACCESSIBILITY		
Is this court enclosure's accessibility adequate?	Yes	
Accessibility Rating	3 - Fair	
Accessibility Issues	Trip hazards identified	
Main access gate dimensions	<p>South gate, west side - 1049mm wide</p> <p>South gate, east side - 1070mm wide</p>	
Accessibility Notations	<p>The general design of the pathways throughout the site is pretty good with good concrete path connections between the courts, the car park and the clubhouse in place.</p> <p>There are several trip points in the concrete footpath, and no all abilities access into the clubhouse.</p>	
Accessibility Photos		



Appendix 67



Appendix 68



Appendix 69



Appendix 70



Appendix 71



Appendix 72



Appendix 73

SUPPORTING INFRASTRUCTURE

Fencing type	Black PVC chainmesh fencing , High , With bottom rails
Fence height	3m to 3.5m, 3.6m +
Fence rating	2 - Good

Fencing Photos



Appendix 74



Appendix 75



Appendix 76



Appendix 77











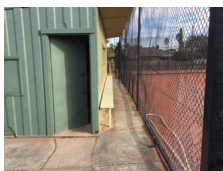




Appendix 78



Appendix 79

	<p>The fencing to the west side and the south side is extra high to prevent balls getting into neighboring residential properties.</p> <p>Overall the fencing is quite good, it presents neatly (but faded) and it remains functional.</p> <p>Wind break material and signage should not be fitted to these fences as they appear to be under specified for such a wind loading.</p>
Is there Tennis Court supporting infrastructure?	Yes
Net post type	Painted old style round galv posts, With fixed winders, Straight
Net post rating	3 - Fair
Net post notations	<p>The net posts are sound and functional, they just present as old and tired as they are the older style of set up.</p> <p>An old tennis ball is fitted to the winder handle on court 2 to prevent injury to people walking by.</p>

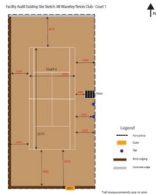
Question	Response	Details
Net post photos		
<div style="display: flex; justify-content: space-around;">     </div> <div style="display: flex; justify-content: space-around; margin-top: 10px;"> Appendix 80 Appendix 81 Appendix 82 Appendix 83 </div>		
Net type	3/4 drop net(s), Tethered to the net posts, Centre net strap fitted	
Net condition rating	2 - Good	
Net notations	All 3 nets present quite well and are fit for purpose. The bottom tape on court 4 is cracked and showing signs of wear.	
Net Photos		
<div style="display: flex; justify-content: space-around;">    </div> <div style="display: flex; justify-content: space-around; margin-top: 10px;"> Appendix 84 Appendix 85 Appendix 86 </div>		
Overall infrastructure rating	3 - Fair	
Is there adequate seating?	Yes	
Is there adequate shelter?	No	
Seating & Shelter Notations	Several long bench seats with backs are situated outside of the enclosure to the south end. They are very good. The shelter provisions are lacking, with only minor verandas on the shed and clubhouse available. There is some viewing of the courts available from the clubhouse windows.	
Seating & Shelter Photos		
<div style="display: flex; justify-content: space-around;">       </div> <div style="display: flex; justify-content: space-around; margin-top: 10px;"> Appendix 87 Appendix 88 Appendix 89 Appendix 90 Appendix 91 Appendix 92 </div>		

Question	Response	Details
Is there another enclosure?	No	
Is there another enclosure?		
Is there another enclosure?		
Is there another enclosure?		
RECOMMENDATIONS - MAINTENANCE		
Are there any Maintenance items requiring attention?	Yes	
Surface maintenance issues requiring immediate attention and ongoing monitoring		Remove debris, Remove weed growth, Hang drag mats on fence
Drainage maintenance issue(s) requiring immediate attention and ongoing monitoring.		N/A
Supporting infrastructure maintenance issue(s) requiring immediate attention and ongoing monitoring.		
Lighting maintenance issue(s) requiring immediate attention and ongoing monitoring.		Conduct a lux level test, Recommend lighting engineer to assess suitability of lighting system
Court surrounds & grounds maintenance issue(s) requiring immediate attention and ongoing monitoring.		Continue with regular grounds maintenance
Maintenance Works Recommendations Notations		The regular on-going court surface maintenance is generally of a very good standard. It is obvious that the courts are being looked after by a skilled court maintenance contractor. Weed eradication was needed at the time of the consultants visit.
RECOMMENDATIONS - CAPITAL WORKS		
Are there any capital works required?	Yes	
What degree of works are required?		Major remedial works
Does this facility pose any serious risks?	No	
If yes, why?		
Risk photos		

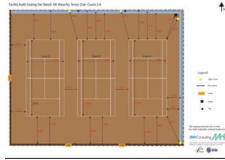
Question	Response	Details
Capital Works Recommendations Notations	<p>It is recommended that a full features and levels survey be undertaken at the site for the purpose of accurately assessing the existing court and run-off dimensions against today's standards.</p> <p>The fencing, brick edging, and some accessibility areas would benefit from upgrading, and its possible that the lighting systems could also be improved.</p> <p>The exact scope of works for the site remains unclear, until a survey and concept plans for the site have been prepared. These should be done as a "Masterplanning" exercise, so that the entire site (including the immediate surrounds outside of the court enclosures and the grassed areas within the property) can be designed for future upgrades and redevelopment.</p> <p>While it might not be possible to extend the sizes of the existing enclosures to meet current standards, it is the professional opinion of the consultants that this discussion at least needs to be had, so that a direction moving forward can be adopted, and the plans required get drawn up accurately reflecting the clubs ideal outcomes.</p> <p>Works that should be planned for, include as a minimum -</p> <ol style="list-style-type: none"> 1) New fencing and gates that meet the Australian Standards. 2) Rebuilt brick edging that is sound and straight and level. 3) Improved all abilities access throughout the site that meets the DDA requirements. 4) Adopt a strategy that reduces and controls the negative impact of the adjacent trees and shrubs on the courts. If the vegetation can't be totally removed, what other options exist that may assist with improving the situation? 5) New tennis net posts and nets to sharpen up the general presentation of each court enclosure. 6) Court base and playing surface select improvements to areas identified as needing attention (typically baselines). <p>The works outlined above can occur with or without any major amendments to the current court enclosure sizes.</p> <p>A major reconstruction project that involves changing the fence alignments and overall size of the fenced enclosures, will most likely impact upon the current light tower positions.</p> <p>Short term works are required for court repairs and irrigation repairs which will have an estimated cost of \$50,000. At around the 10 year mark if a complete reconstruction is required an estimated cost of \$200,000 should be allowed with the exclusion of lighting.</p>	
Recommendations continued		
Additional site photos (if required)		
Site map		

		Potential Consequences				
		Low	Medium	High	Critical	Very High
Potential for injury to people	Minor	Low	Medium	High	Critical	Very High
	Major	Low	Medium	High	Critical	Very High
	Minor	Low	Medium	High	Critical	Very High
	Major	Low	Medium	High	Critical	Very High
Potential for damage to assets	Minor	Low	Medium	High	Critical	Very High
	Major	Low	Medium	High	Critical	Very High
Potential for damage to the environment	Minor	Low	Medium	High	Critical	Very High
	Major	Low	Medium	High	Critical	Very High
Potential for damage to the community	Minor	Low	Medium	High	Critical	Very High
	Major	Low	Medium	High	Critical	Very High

Appendix 93



Appendix 94



Appendix 95

Additional Information

APPENDIX 5: MT WAVERLEY RESERVE - FINAL SITE REPORT (SPORTS FACILITY AUDITOR 2021)

SCALE

KEY

PROJECT
MOUNT WAVERLEY RESERVE MASTER PLAN

CLIENT
Monash Council

PROJECT #
1495

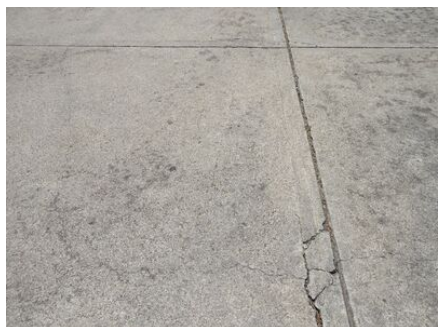
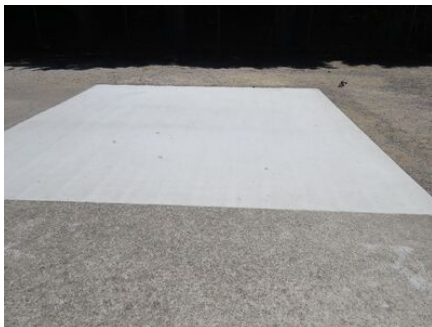
DATE
07-06-2021



Final site report - Mount Waverley Reserve

Site details	
Site details	
Reserve name	Mount Waverley Reserve
Address	8-26 Charles Street
Suburb	Mount Waverley
Open Space Strategy catchment area	Mount Waverley
Site ID	1730
Lat	-37.872548
Lng	145.135206
Asset Owner Type	Local Government
Reserve classification	District
Primary function	Sport
Size - hectares	4
General site description	*Public toilets are onsite but locked/not for use [and opposite end of the reserve to recreation activities]
 	
Other Infrastructure	
Playground	Yes
Playground size - square metres	44
Playing fields	1
Hard courts	1

Athletics track	No
Pavilion	Yes
Community Hall	Yes
Other infrastructure	Other (please specify)
Comment	Hit-up wall pad is 8x12m, cracking needs some repair. wall is intact; playground equipment is tired







Active Recreation	
Outdoor Fitness Equipment	
Is there outdoor fitness equipment at this reserve?	No
Trails/paths	
Are there trails/paths at this reserve?	No
Bocce	
Is there a Bocce court?	No
Climbing wall / Bouldering	
Is there a climbing wall / bouldering facility at the site?	No
Skate Park	
Is there a skate facility at the site?	No
BMX track	
Is there a BMX Track at the site?	No

Basketball / Netball courts	
Basketball / Netball courts	
Is there a basketball / netball court at this reserve?	Yes
Number of courts	1
Court 1	
Asset ID	
Lat	-37.872329
Lng	145.136246
Primary activity type	Basketball
Number of rings	1
Type	Half court/
Installation Date - year	
Condition rating of ring	Moderate
Condition rating of backboard	Moderate
Court surface	Concrete
Court linemarking	None
Condition rating of court	Good
Lighting	No lighting provided
Safety issues	
Is the court fenced?	Not fenced
Court fence type	
Condition of court fencing	

Comment

Pad is 7.1 x 8.2m; pole on a strong lean [backwards]. Base of pole is rusting. Screws & nuts securing backboard to frame are rusted. Ring coating is worn, missing chain/net. Backboard is intact but pieces are peeling off the front and the bottom edge is starting to break up [early signs]





Is the site / precinct fenced?	Partially fenced but still provides for community access
Quality of existing site /precinct fencing	Moderate
Condition Asset Follow-up (structural assessment or other investigation required)	Yes
Condition Asset Follow-up Comment Box	Pole skewed and on a lean backwards- assess for stability, and rectify;

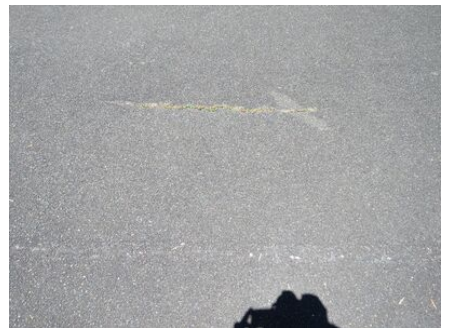
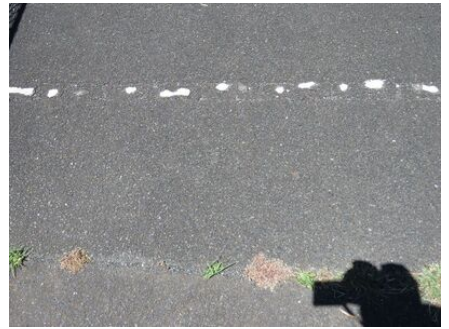
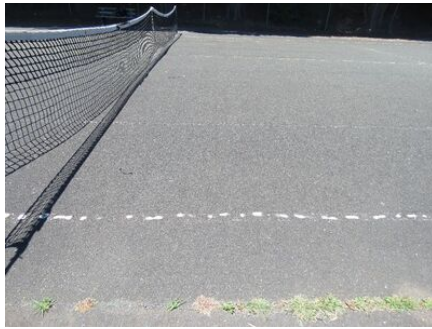


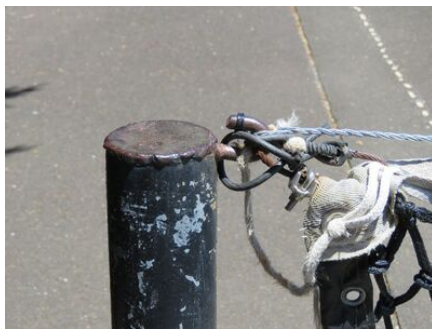
Comment	
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Tennis courts	
Tennis Courts (Public)	
Are there tennis courts at the site?	Yes
Number of tennis courts	1
Tennis court 1	
Asset ID	

Lat	-37.871967547
Lng	145.1362963
Playing surface type	Asphalt
Court surface condition	Poor
Court size - square metres	27
Court length - metres	11
Court width - metres	24
Is the court fenced?	Fully fenced with capacity for restricted access
Court fence type	Chain Mesh
Condition of court fencing	Moderate
Lighting	No lighting provided
Issues	Nets in poor condition Net poles in poor condition Other (please specify)









Is the site / precinct fenced? Partially fenced but still provides for community access

Quality of existing site /precinct fencing Moderate


Condition Asset Follow-up (structural assessment or other investigation required) No



Comment	Net itself is intact albeit the ties need fixing. Posts are intact but coating worn, bases and hardware are rusting and one is on a pronounced lean. Surface itself has cracking through the majority, weeds growing in cracks, disintegrated lines, and the surface slant is pronounced. Tree roots from next property have encroached into runoff [needs to be addressed, would also be a good idea to have the trees assessed for stability, there is significant overhang and they're growing on a lean into the court]]. Surface type is suitable for this type of use but currently it needs resurfacing and replacement poles. Is the portable spotlight that is plugged in safe?
----------------	--

Hit up walls	
Are there hit up walls?	Yes
Number of separate hit up walls?	1
Wall 1	
Condition	Good
Length - metres	11

Cricket practice facilities	
Cricket practice facilities	
Does the site have outdoor cricket practice facilities?	Yes
How many outdoor cricket practice facilities?	2
Outdoor cricket practice facility 1	
Asset ID	
Lat	-37.873491
Lng	145.135853
Practice net enclosure configuration	Cricket only
Practice net enclosure location	Completely off playing field (including run-ups)
Practice net enclosure orientation	North West-South East
Practice net enclosure height (to top of side fence)	3.1m to 3.5m
Practice net enclosure lighting	No lighting provided
Practice net enclosure (perimeter) fencing type	Black chain mesh

Fence / netting condition rating	Good
Fence / netting protection	Rubber matting
Practice net enclosure roofing	No roofing
Practice net enclosure type	Combined synthetic and turf enclosure(s)
Comment	Approx 6-8 wickets, roped off but not lockable
Number of practice nets (left to right)	
	1
Practice net 1 (Outdoor cricket practice facility 1)	
Asset ID	
Lat	-37.873491
Lng	145.135853
Pitch surface	Turf
Pitch condition	Good
Width of pitch (pitch only)	Less than 1.83m
Width of total wicket area (fence to fence)	Unable to provide accurate measurement
Pitch / side wicket fencing	Full pitch length (inc. bowling crease)
Immediate pitch surrounds (within the wicket area)	Grass infill
Pitch safety issues (tick box of relevant issues)	
Access	Open access
Comment	roped off
	
Outdoor cricket practice facility 2	
Asset ID	
Lat	-37.873449
Lng	145.135993
Practice net enclosure configuration	Cricket only
Practice net enclosure location	Completely off playing field (including run-ups)
Practice net enclosure orientation	North West-South East
Practice net enclosure height (to top of side fence)	3.1m to 3.5m
Practice net enclosure lighting	No lighting provided
Practice net enclosure (perimeter) fencing type	Black chain mesh

Fence / netting condition rating	Moderate
Fence / netting protection	Rubber matting
Practice net enclosure roofing	Partial roofing (to 9m)
Practice net enclosure roof type	
Practice net enclosure type	Full pad with full synthetic surface
Comment	10.6 x 18.2m [to end of fence] & 10.6 x 26m [to end of runup]; fix broken roof [at join] #3 net. monitor tree root invasion [LHS of #1 net]



Number of practice nets (left to right)	3
--	---

Practice net 1 (Outdoor cricket practice facility 2)

Asset ID	
Lat	-37.873439
Lng	145.136027
Pitch surface	Synthetic 9-11mm pile
Pitch condition	Moderate
Width of pitch (pitch only)	1.84m - 2.39m
Width of total wicket area (fence to fence)	3.05m - 3.60m
Pitch / side wicket fencing	Three-quarter pitch
Immediate pitch surrounds (within the wicket area)	Full synthetic
Pitch safety issues (tick box of relevant issues)	Suspected pitch base issues / failure Uneven bowling crease / drop-offs Leaf litter debris on
Access	Open access

Comment

Wicket is 2.1 x 8.9m; compacted pile, dirty, splitting seams, a section of the LHS has a level change and subsidence along the edge.





Practice net 2 (Outdoor cricket practice facility 2)

Asset ID	
Lat	-37.873448
Lng	145.135993
Pitch surface	Synthetic 9-11mm pile
Pitch condition	Moderate
Width of pitch (pitch only)	1.84m - 2.39m
Width of total wicket area (fence to fence)	3.05m - 3.60m
Pitch / side wicket fencing	Three-quarter pitch
Immediate pitch surrounds (within the wicket area)	Full synthetic
Pitch safety issues (tick box of relevant issues)	Worn areas on pitch surface Leaf litter debris on
Access	Open access
Comment	Wicket is 2.1 x 8.9m; compacted pile, dirty, splitting seams, high wear patches. wicket end is separating from the surrounds. There's a bump part way down [tree root?], address so it's not a trip point.

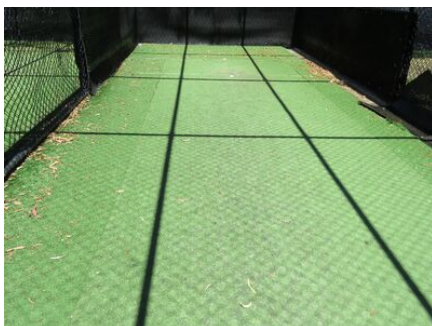
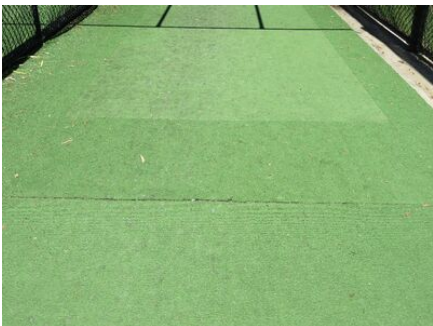


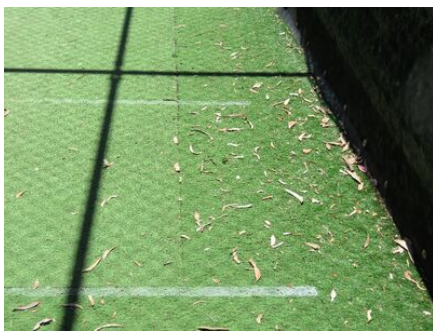


Practice net 3 (Outdoor cricket practice facility 2)

Asset ID	
Lat	-37.873465
Lng	145.135959
Pitch surface	Synthetic 9-11mm pile
Pitch condition	Moderate
Width of pitch (pitch only)	1.84m - 2.39m
Width of total wicket area (fence to fence)	3.05m - 3.60m
Pitch / side wicket fencing	Three-quarter pitch

Immediate pitch surrounds (within the wicket area)	Full synthetic
Pitch safety issues (tick box of relevant issues)	Worn areas on pitch surface Suspected pitch base issues / failure Leaf litter debris on
Access	Open access
Comment	Wicket is 2.1 x 8.9m; compacted pile, dirty, splitting seams, high wear at each end, carpet is lifting along the side and there is a dip/level change [turf wicket side].





Condition Asset Follow-up (structural assessment or other investigation required)

No

Comment

fix broken roof join in 3 net. schedule carpets for resurfacing and rectify the base.

Futsal

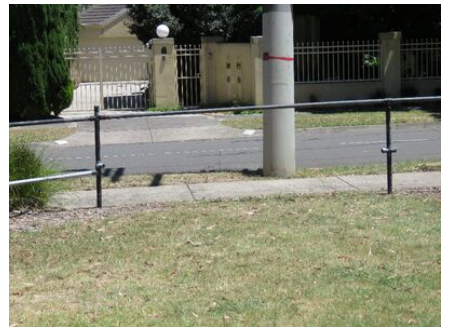
Futsal	
Are there any Futsal pitches at the site?	No
Futsal goals	
Are there Futsal goals at the site?	No

Supporting infrastructure	
Supporting infrastructure	
Public toilets (within reserve)	Male/Female Accessible
Reserve fencing	Partially enclosed
Reserve fencing type	Post and rail
Lighting (servicing active recreation infrastructure)	Street lighting Car Park lighting
Bins	Yes
Dog Poo Bag Dispensers	No
Are bins appropriately located in relation to active recreation infrastructure?	No
Does shade appropriately service active recreation infrastructure?	No
Drinking fountain	Yes (including dog bowl)
Park benches (within 50 metres of active recreation infrastructure)	Yes
Picnic tables	No
Does park furniture appropriately service active recreation infrastructure?	No
Public transport access (within 500m)	Bus
Number of car park areas (within reserve)	2
Estimated Total Number of car parking spaces	41-60
Bike repair stations	No
Bike racks	No
BBQ (within reserve)	No
Condition Asset Follow-up (structural assessment or other investigation required)	No
Comment	Bins only available at pavilion and one St Albans St entry/exit. x1 bench seat at playground only. Mixture of perimeter fencing, a different one on each frontage.



Charles St

Charles St



Charles St

St Albans St

St Albans St



St Albans St

St Albans St

St Albans St



St Albans St



St Albans St



St Albans St



at tennis court [needs replacement]



at tennis court

Safety and Accessibility	
Safe Design	
Is the active recreation area visible from neighbouring streets, houses and buildings?	Partially
Number of active frontages	2
Is visibility of the area blocked by vegetation or other obstacles	Permanent infrastructure Other obstacles
Is there more than one pedestrian exit from the area?	Yes
Are entry and exit points adequately lit?	Yes
Are there any other safety issues or concerns?	

Comment

There is good visibility of/for the playground and a reasonable amount for the cricket nets, although some of the trees cut do with cutting back. Tennis court has good line of sight to the community centre, oval /pavilion. the basketball court & hitup wall have line of sight from the oval but are kind of obscured from the community centre direction.



Accessibility

Is designated disabled parking available?

No

Are pathways available to access active recreation infrastructure, as well as supporting infrastructure such as public toilets?

Yes

Are access points / gateways at least 850mm wide?

Yes

Does active recreation infrastructure have accessible surfaces?

Partial

Are there any other accessibility issues or concerns?

Comment

Travel through the reserve is mostly across grass but could also park on Charles St directly adjacent the playground or on ST Albans St for the nets. Parking onsite provides direct access to the (recreation) tennis court and basketball court.

